

SITE PLAN

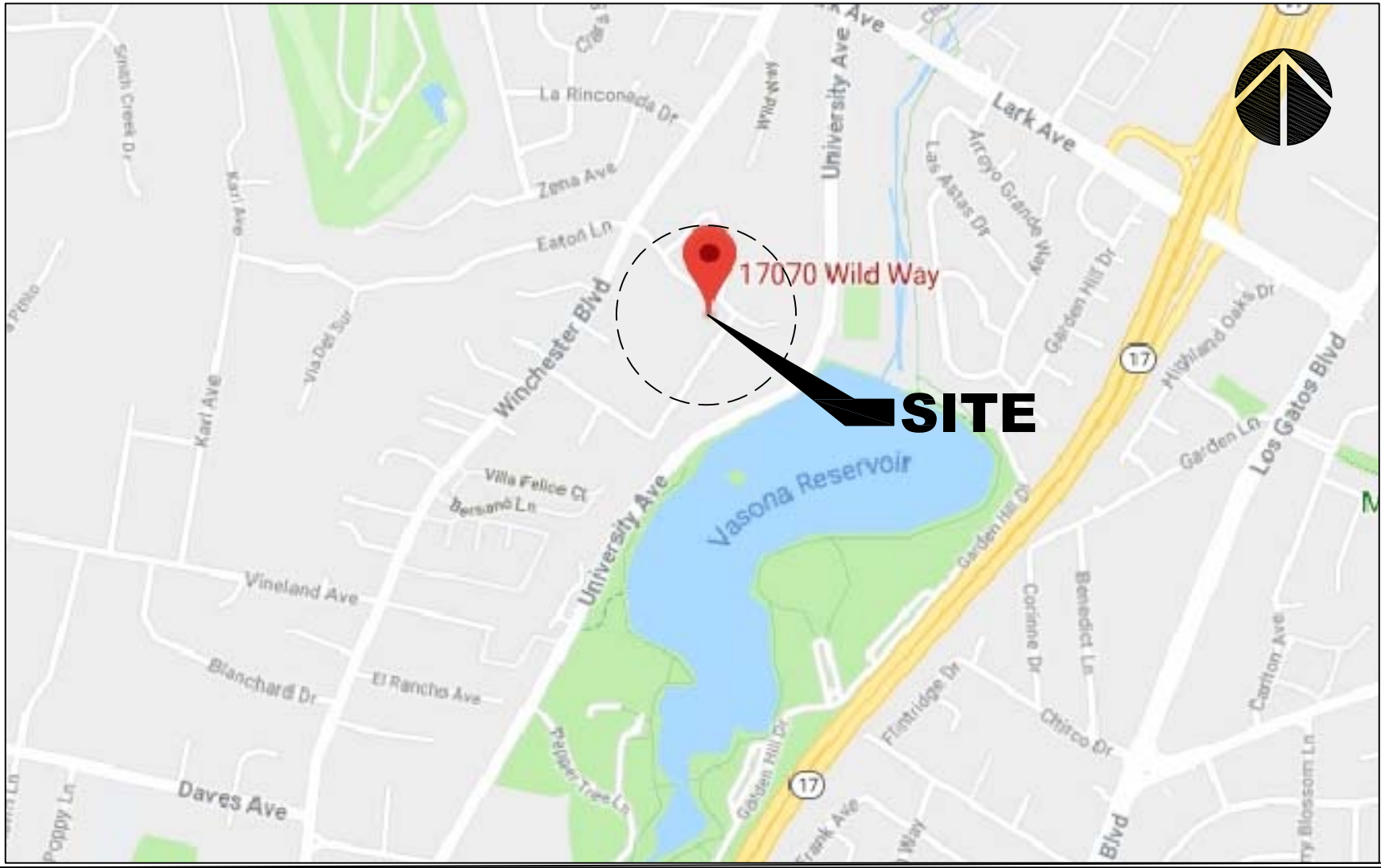
SCALE : 3/32" = 1'-0"

PROJECT CONTACT INFORMATION

PROPERTY OWNER: MR. BALA RANGABASHYAM ADDRESS: 17070 WILD WAY, LOS GATOS, CA	Tel. No. : (408) 838-4407 email : bala300@gmail.com	CIVIL ENGINEER: NINH LE (LC ENGINEERING) ADDRESS: 598 W. SANTA CLARA ST. STE 270, SAN JOSE, CA	Tel. No. : (408) 806-7187 email : nle@lcengineering.net	GREEN BUILDING/ENVIRONMENTAL IMPACT CONSULTANT) ARASH FIROUJAEI ADDRESS: 598 W. SANTA CLARA ST. STE 270, SAN JOSE, CA	Tel. No. : (408) 217-9174 email : arash@achievang.com
PROJECT MANAGER: ROLAND T. CRUZ ADDRESS: 815 PLATT COURT, MILPITAS, CA	Tel. No. : (408) 219-8273 email : cruz1925@aol.com	LANDSCAPE ARCHITECT: KAREN AITKEN (KAREN AITKENS & ASSOCIATES) ADDRESS: 8262 RANCHO REAL, GILROY, CA	Tel. No. : (408) 857-6275 email : aitkenassociates@gmail.com		

VICINITY MAP

NOT TO SCALE



PROJECT DESCRIPTION

NEW TWO STORY RESIDENCE WITH 3-CAR GARAGE & BASEMENT. NEW LANDSCAPING.

PROJECT DATA

APN	424-30-025
LOT AREA	20,824 S.F.
ZONING	R-1:20
FLOOR AREAS:	
FIRST FLOOR AREA (EXCLUDING GARAGE)	- 3,226 S.F.
SECOND FLOOR AREA	- 1,332 S.F.
TOTAL FLOOR AREA	- 4,558 S.F.
BASEMENT FLOOR AREA	- 1,340 S.F.
GARAGE AREA	- 700 S.F.
FLOOR AREA RATIO	4,558 S.F. / 20,824 = 0.2188
MAXIMUM FLOOR AREA	4,652 S.F. / 20,824 = 0.2234
GARAGE RATIO	700 S.F. / 20,824 = 0.0336
MAXIMUM GARAGE AREA	1,159 S.F. / 20,824 = 0.0557
NUMBER OF STORY:	TWO + BASEMENT
AUTOMATIC FIRE SPRINKLER SYSTEM:	YES
AVARAGE SITE SLOPE	6%
RETAINING WALLS WALLS AT NEW BASEMENT	

SHEET INDEX

A-0	SITE PLAN, VICINITY MAP, PROJECT DATA	4 OF 8	GRADING AND DRAINAGE PLAN
A-1.1	EXISTING FLOOR PLANS	5 OF 8	BLDG. CROSS SECTIONS, IMPERVIOUS AREA EX.
A-1.2	EXISTING ELEVATIONS	6 OF 8	EROSION CONTROL PLAN
A-2	FIRST FLOOR PLAN	7 OF 8	EROSION CONTROL DETAILS
A-3	SECOND FLOOR PLAN	8 OF 8	CONSTRUCTION MANAGEMENT PLAN
A-3A	SECOND FLOOR ROOF PLAN		
A-4	BASEMENT PLAN		LANDSCAPING
A-5	ELEVATIONS	L-1	IRRIGATION PLAN
A-6	ELEVATIONS	L-2	PLANTING PLAN
A-7	BUILDING SECTIONS	L-3	IRRIGATION DETAILS
A-8	STREETSCAPE		
A-9	SHADOW STUDY		
A-10	DETAILS		
GB-1	GREEN BUILDING CHECKLIST		
CIVIL			
1 OF 8	TOWN/GEN. NOTES, LEGEND, ABRREV.		
2 OF 8	BLUEPRINT FOR CLEAN BAY		
3 OF 8	DEMOLITION PLAN		

NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

MR. BALA RANGABASHYAM
OWNER
TELEPHONE NO. (408) 838-4407

SITE PLAN, VICINITY MAP. PROJECT DATA

AS NOTED

REVISION 1

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

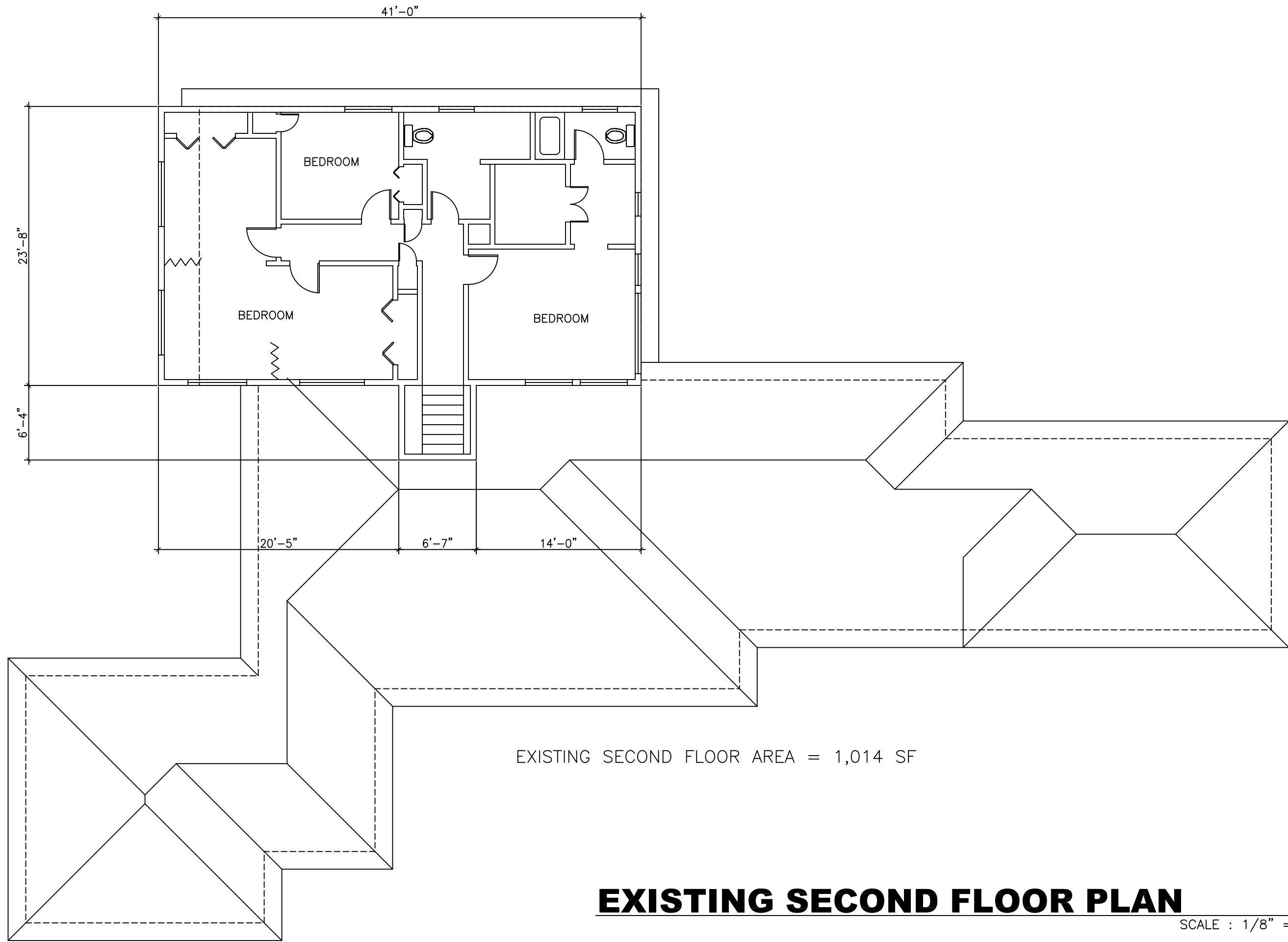
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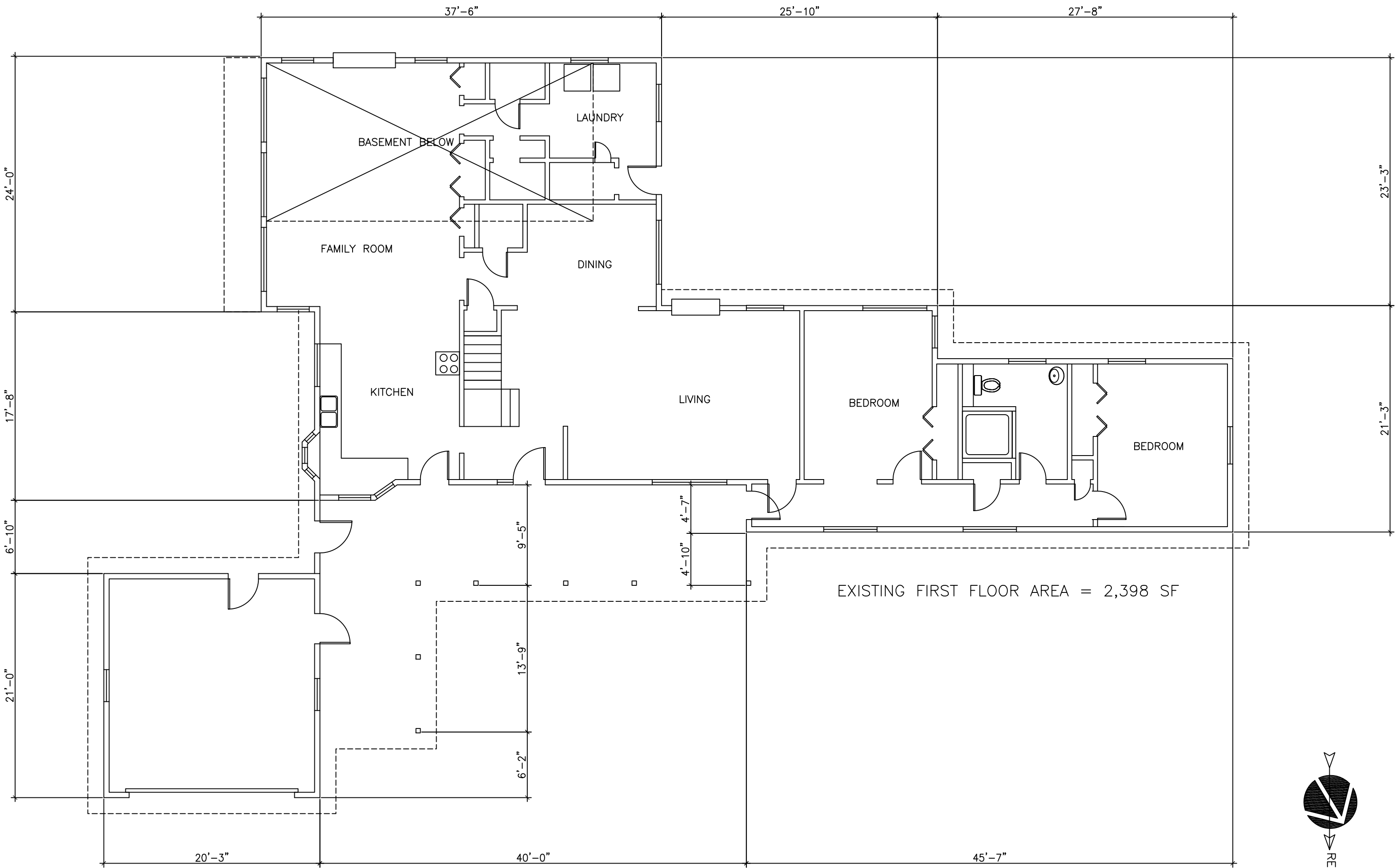
A-0



EXISTING SECOND FLOOR AREA = 1,014 SF

EXISTING SECOND FLOOR PLAN

SCALE : 1/8" = 1'-0"



EXISTING FIRST FLOOR AREA = 2,398 SF

EXISTING FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

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	17070 WILD WAY, LOS GATOS, CA.		
OWNER	MR. BALA RANGABASHYAM		
	(408) 838-4407		
TELEPHONE NO.			

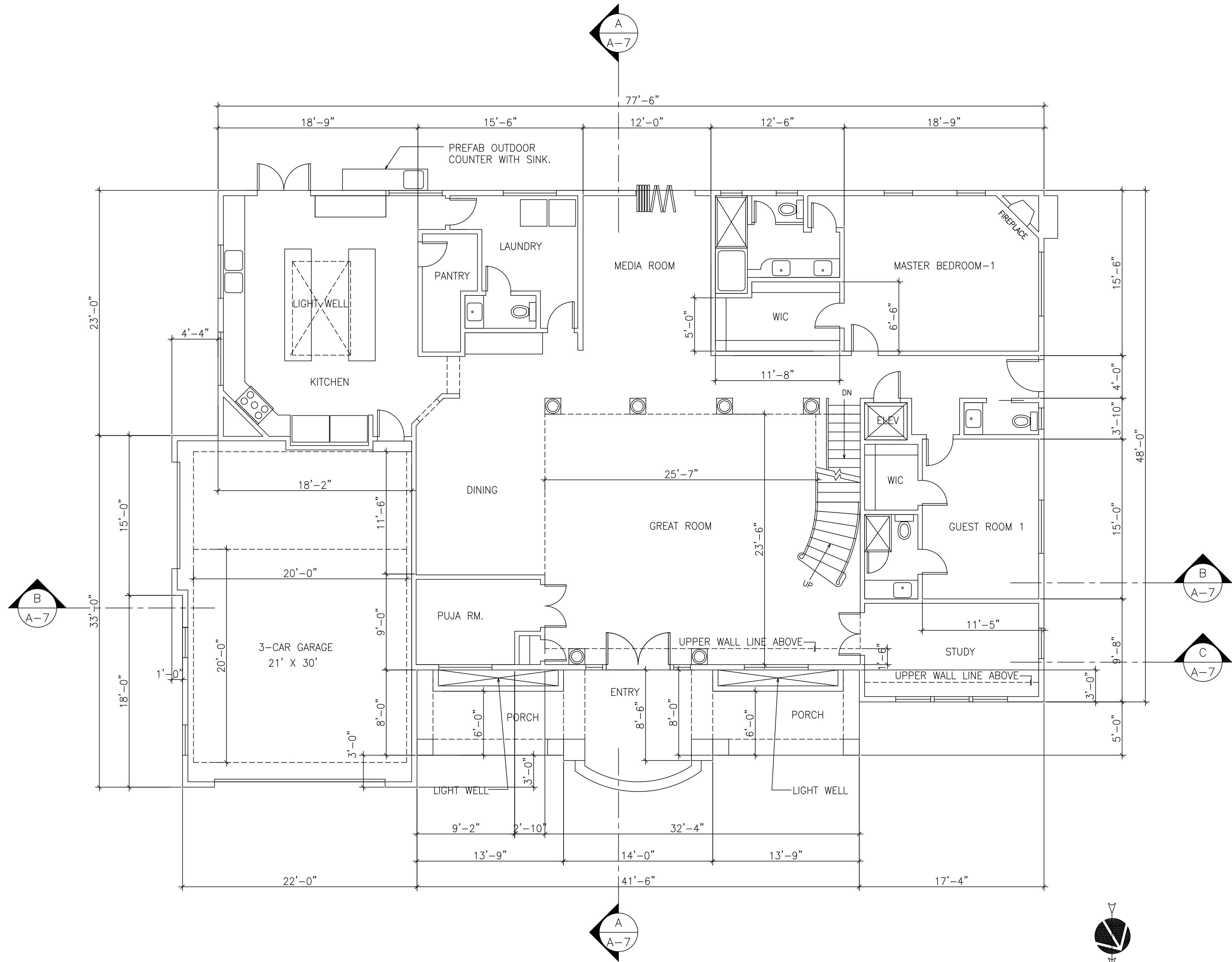
SHEET TITLE	EXISTING FLOOR PLANS	
	AS NOTED	
SCALE		

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REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	

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FIRST FLOOR PLAN

SCALE : 3/16" = 1'-0"

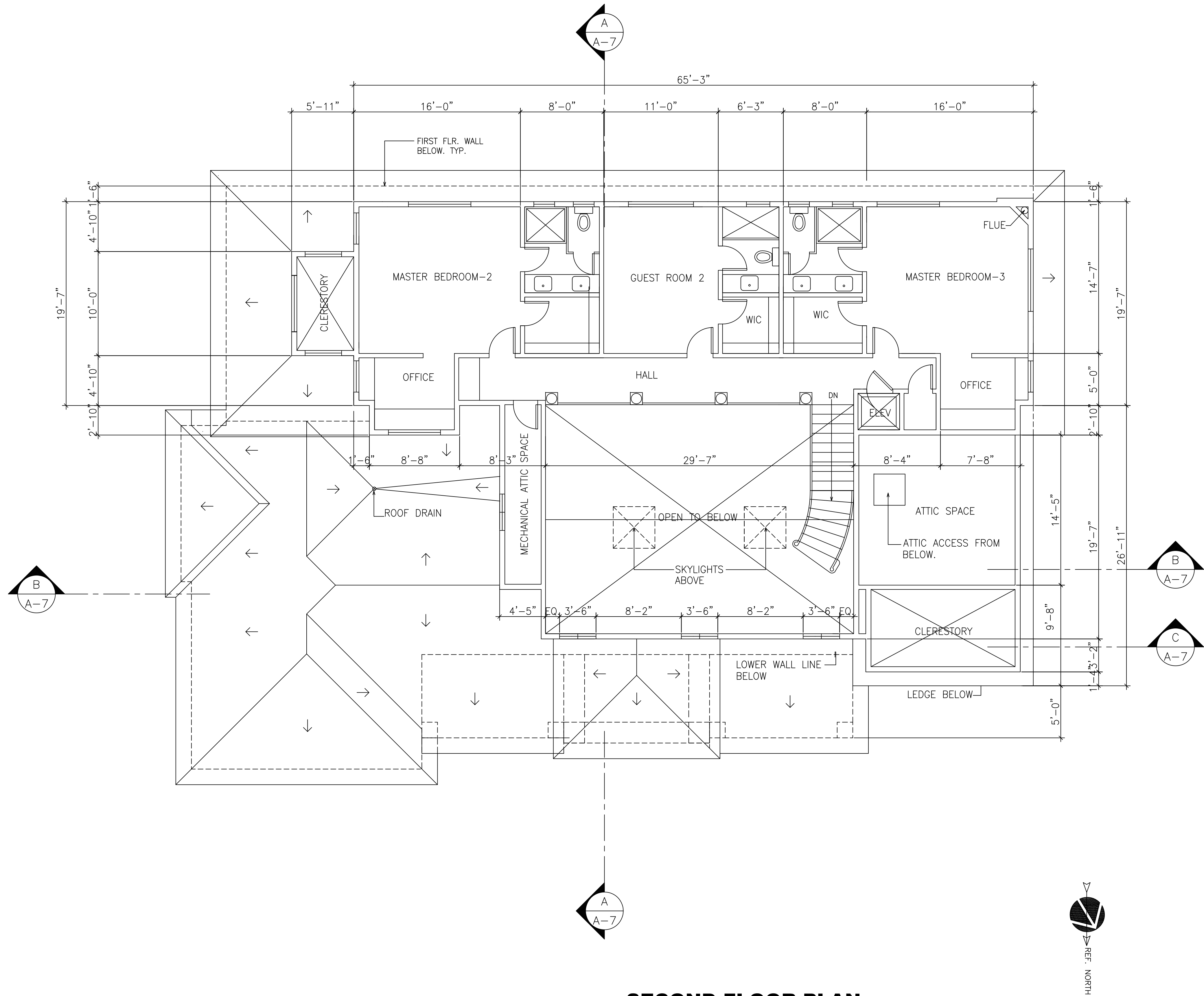
PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO. (408) 838-4407

SHEET TITLE
FIRST FLOOR PLAN
SCALE
AS NOTED

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REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

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SHEET NO.
A-2



SECOND FLOOR PLAN

SCALE : 3/16" = 1'-0"

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NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

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MR. BALA RANGABASHYAM

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SHEET TITLE
SECOND FLOOR PLAN
SCALE
AS NOTED

REVISION 1

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

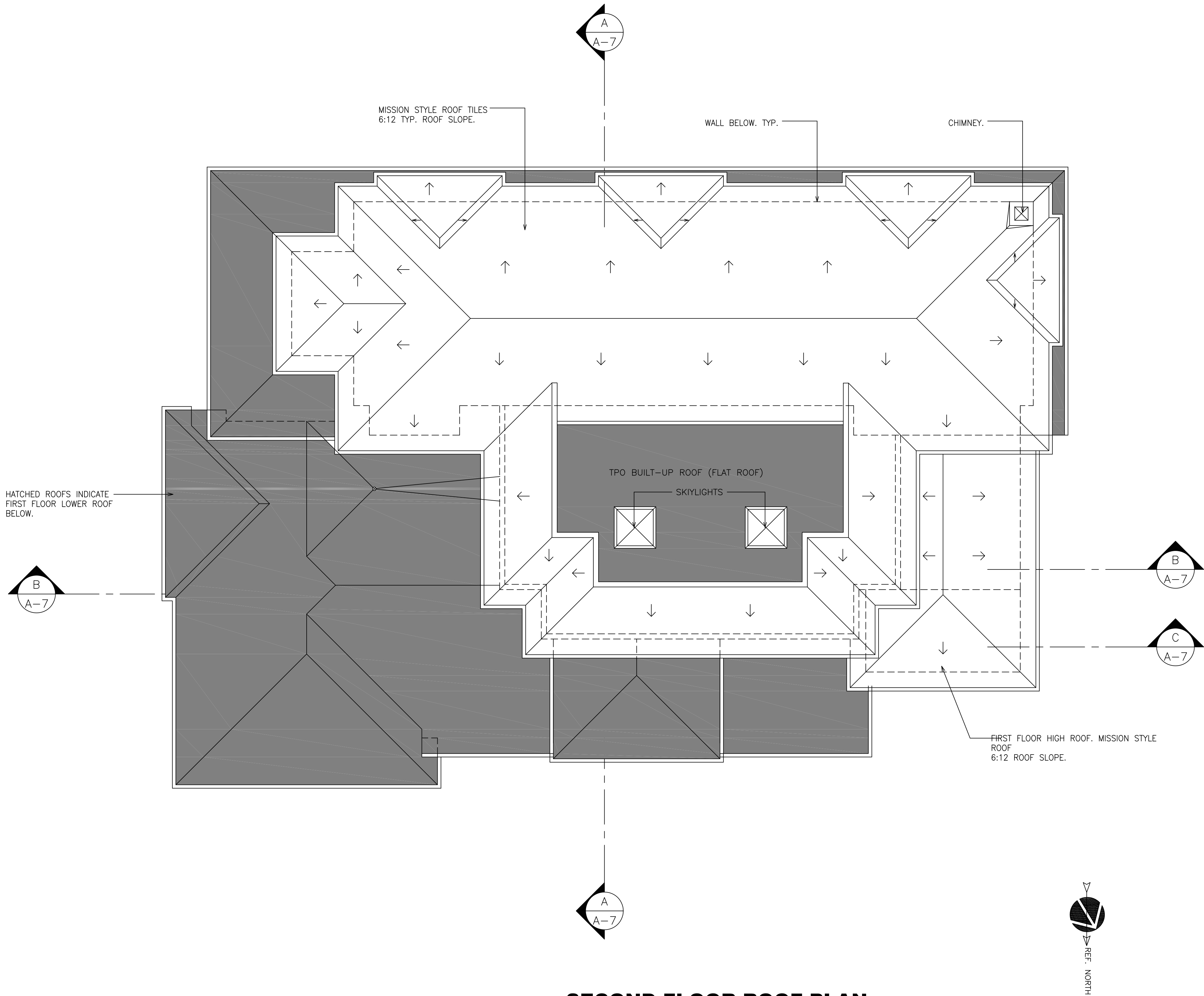
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A-3



SECOND FLOOR ROOF PLAN

SCALE : 3/16" = 1'-0"

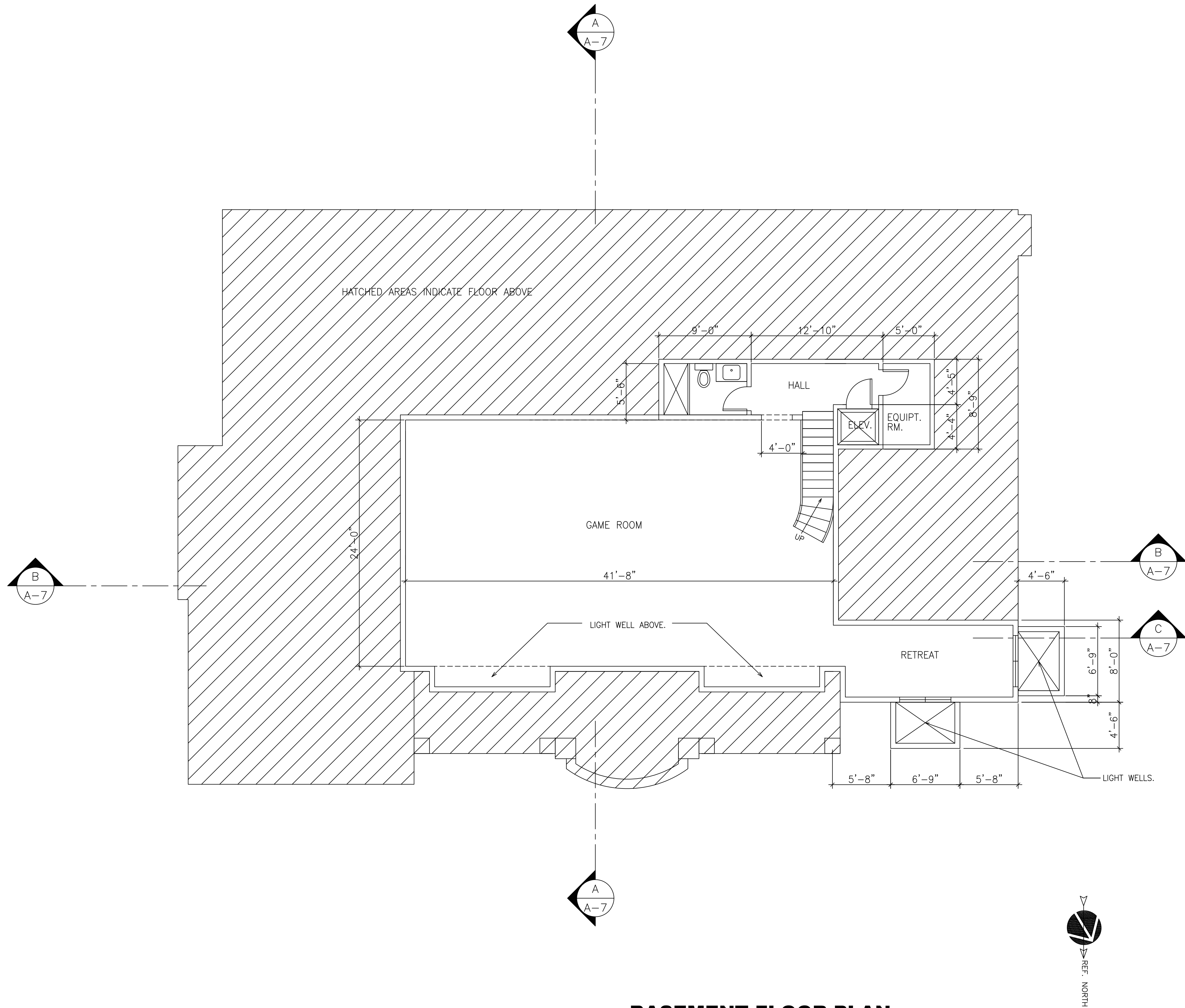
PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.
OWNER
MR. BALA RANGABASHYAM
TELEPHONE NO. (408) 838-4407

SHEET TITLE
SECOND FLOOR ROOF PLAN
SCALE
AS NOTED

REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

JOB NO.
S-18-056
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SHEET NO.
A-3A



BASEMENT FLOOR PLAN
SCALE : 3/16" = 1'-0"

PROJECT	NEW TWO STORY RESIDENCE	
	17070 WILD WAY, LOS GATOS, CA.	
	OWNER	MR. BALA RANGABASHYAM
TELEPHONE NO.	(408) 838-4407	

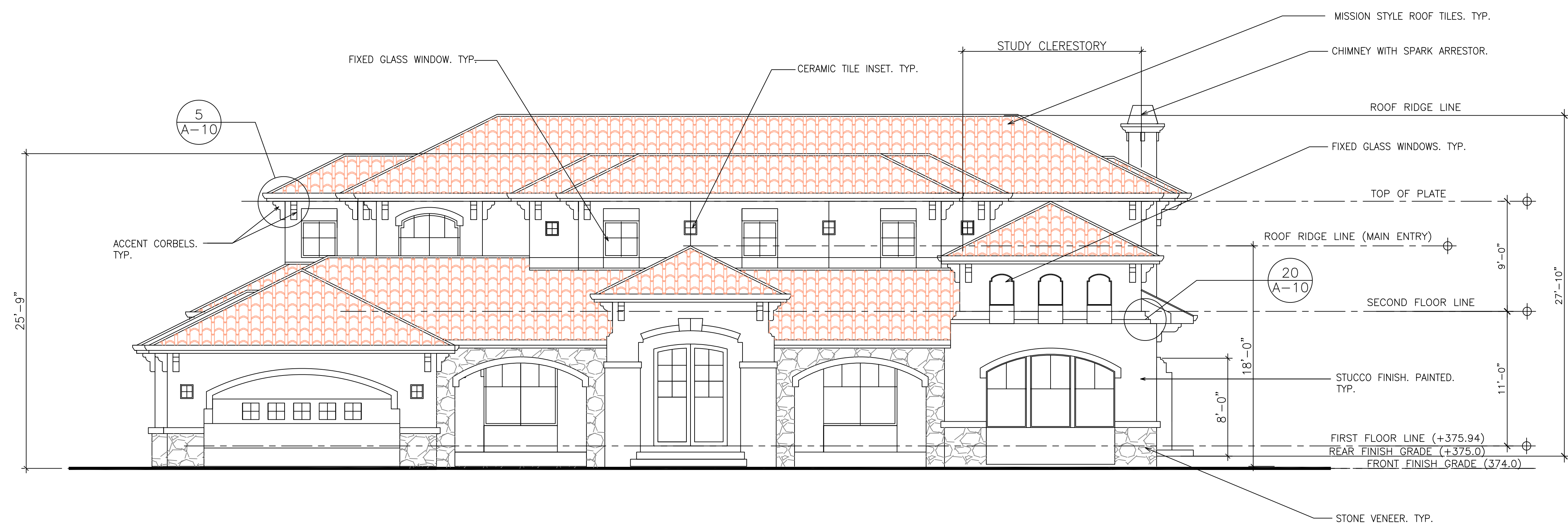
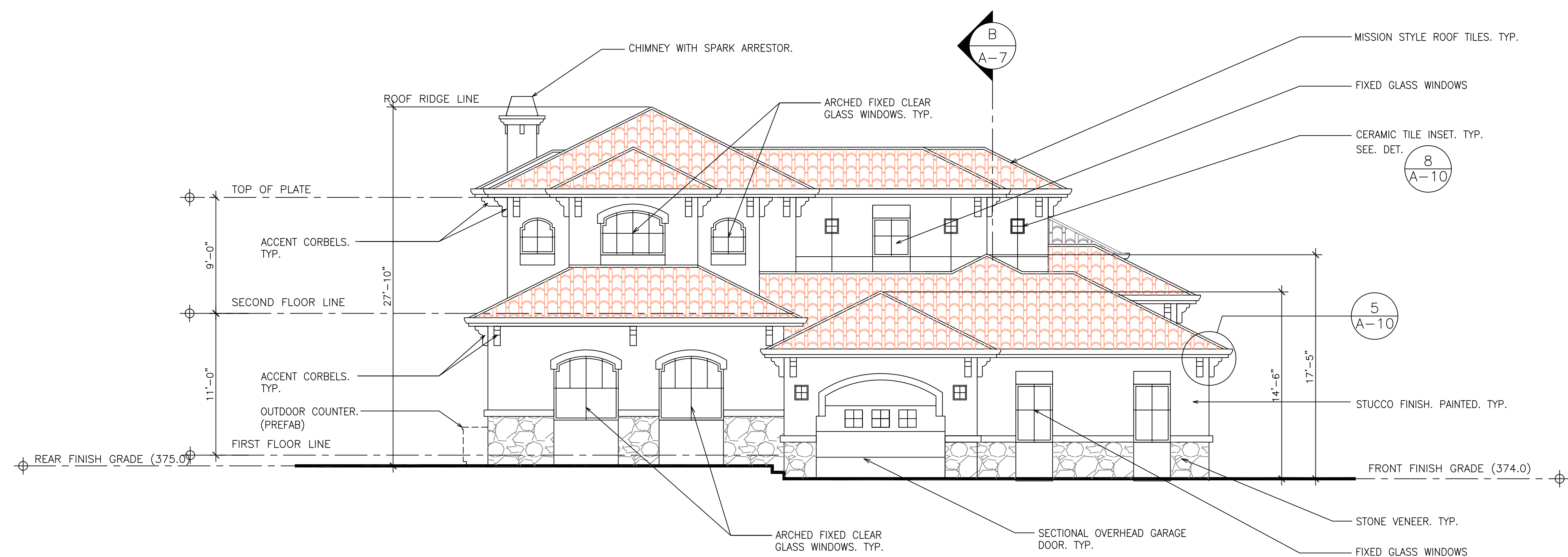
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	SCALE AS NOTED

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REVISION 2
REVISION 3
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REVISION 5
REVISION 6

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SHEET NO.	A-4
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PROJECT

NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

MR. BALA RANGABASHYAM

OWNER
TELEPHONE NO:

SHEET TITLE

ELEVATIONS

SCALE

AS NOTED

REVISION 1

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

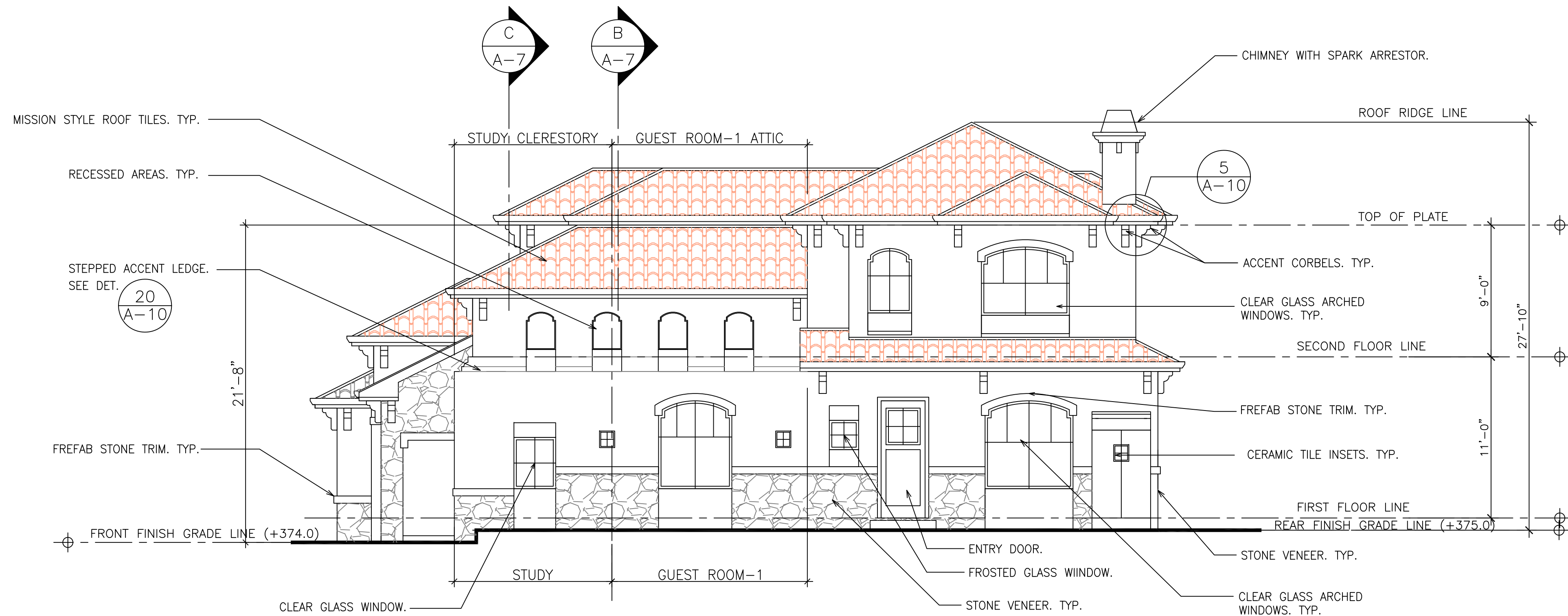
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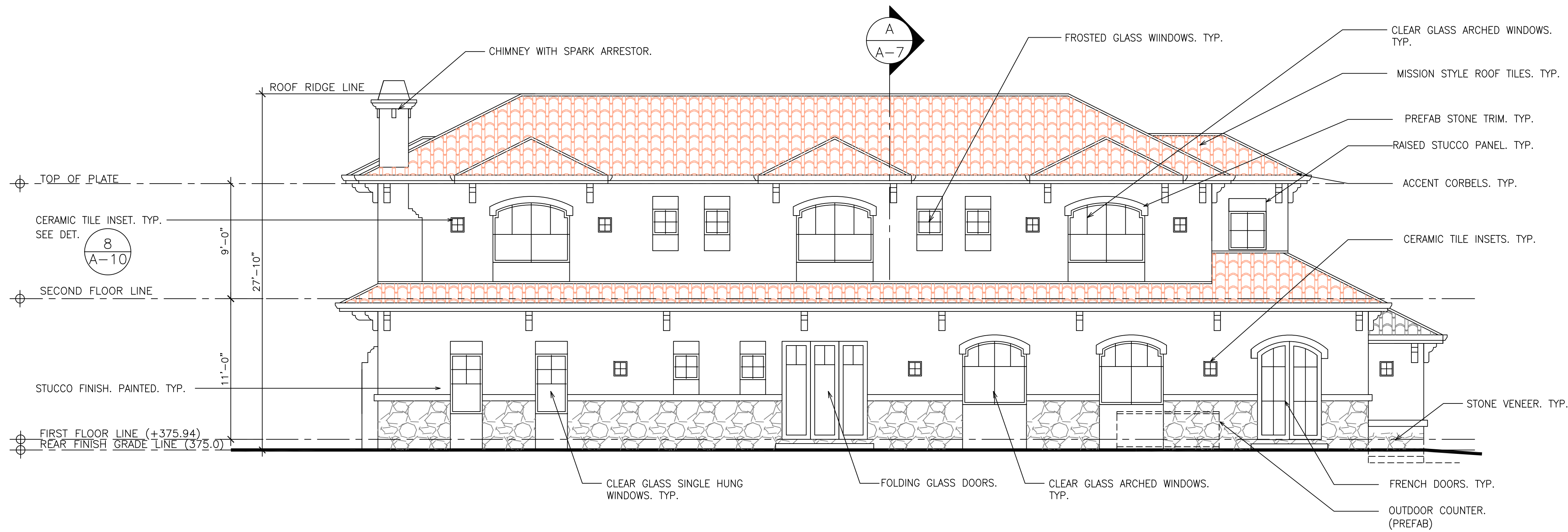
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A-5



RIGHT-SIDE ELEVATION (WEST)

SCALE : 3/16" = 1'-0"



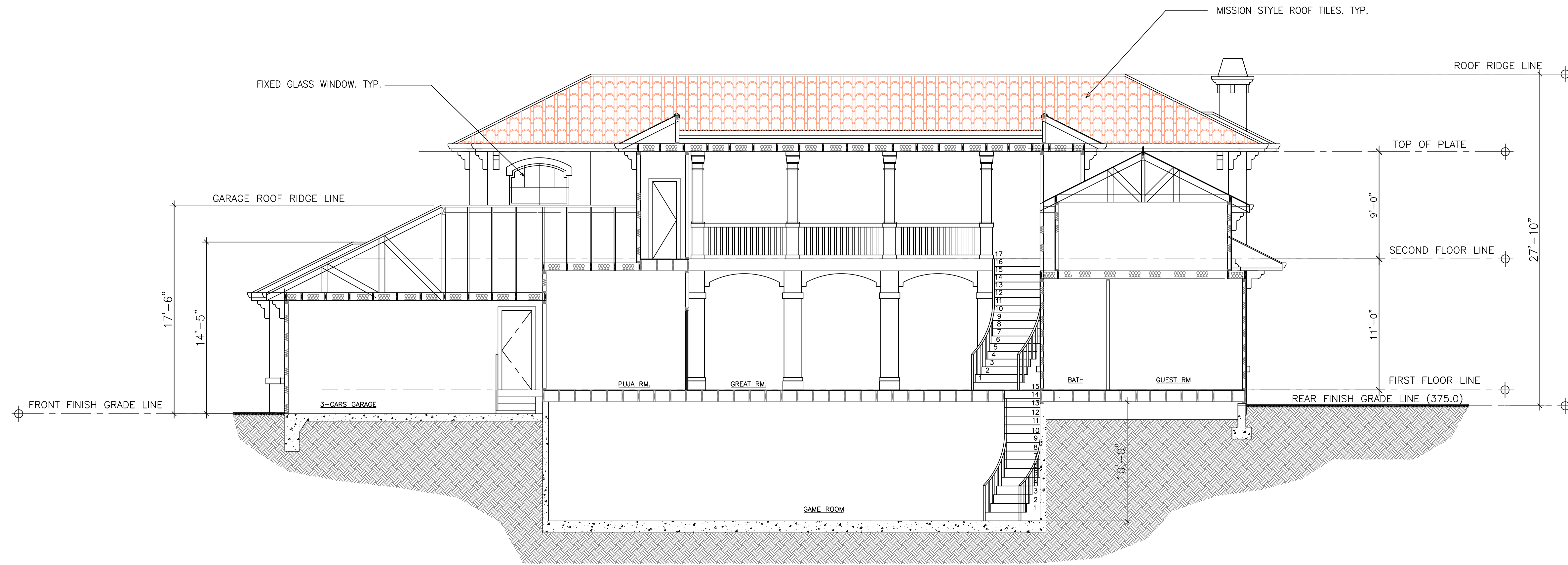
REAR ELEVATION (SOUTH)

SCALE : 3/16" = 1'-0"

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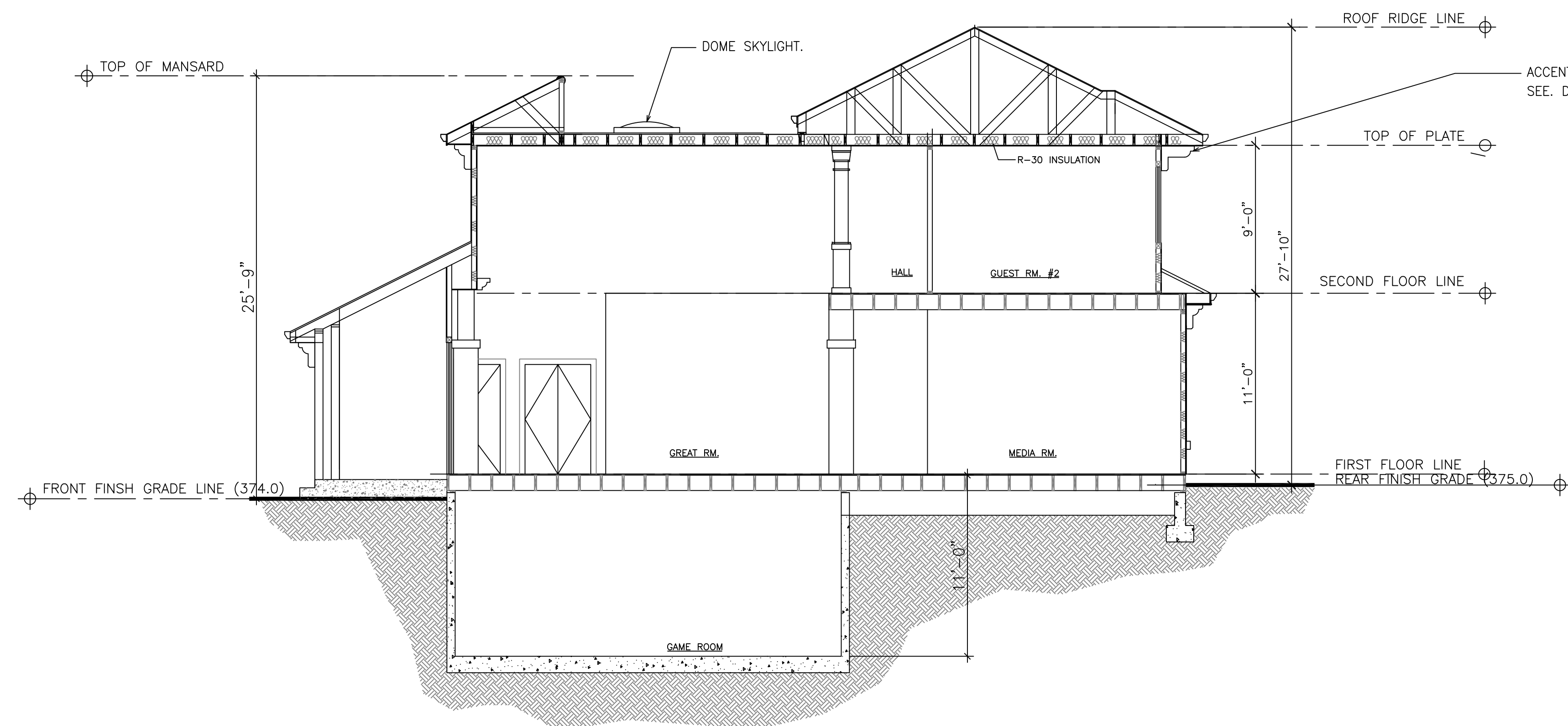
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REVISION 4
REVISION 5
REVISION 6

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DATE 06/26/20
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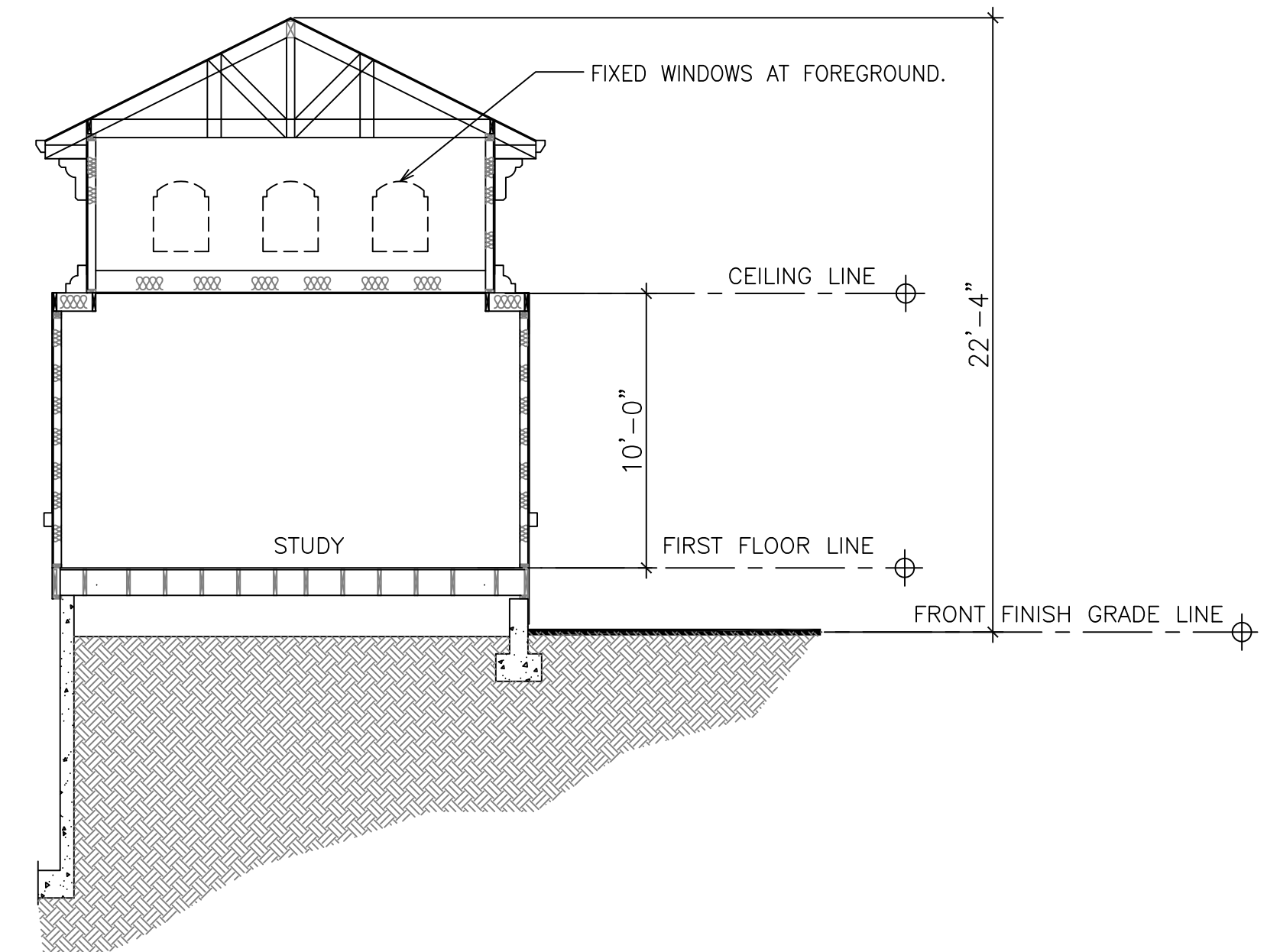
SECTION B-B

SCALE : 3/16" = 1'-0"



SECTION A-A

SCALE : 3/16" = 1'-0"



SECTION C-C

SCALE : 3/16" = 1'-0"

PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

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TELEPHONE NO.
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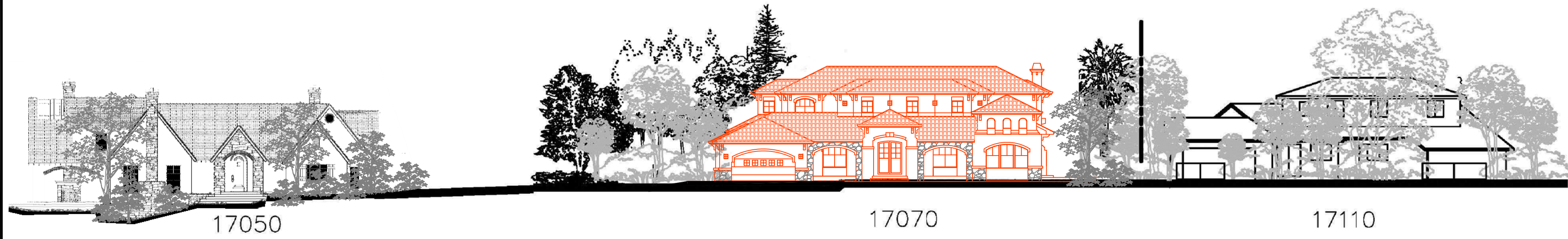
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BUILDING SECTIONS

AS NOTED

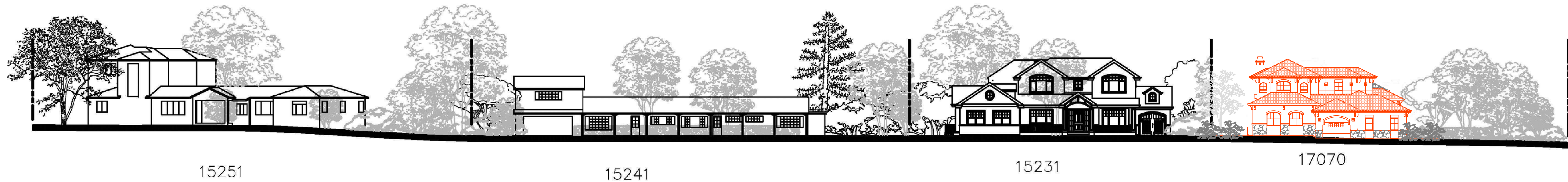
REVISION
REVISION 2
REVISION 3
REVISION 4
REVISION 5
REVISION 6

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S-18-056
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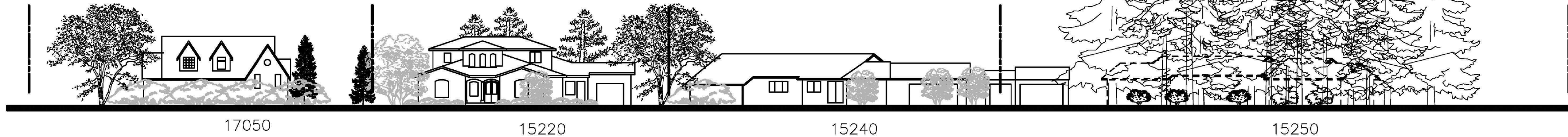
SHEET NO.
A-7



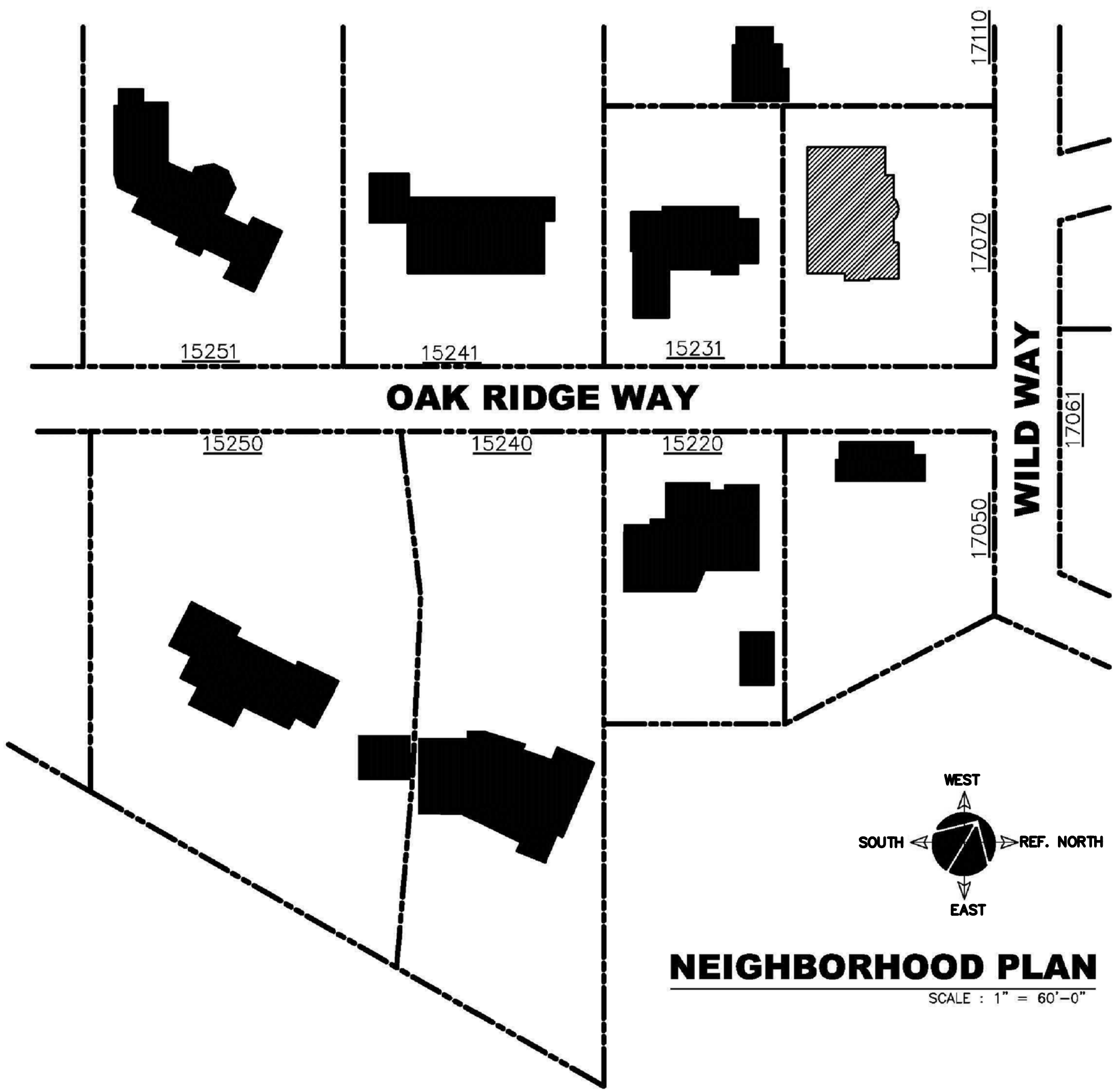
SOUTH STREETSCAPE - WILD WAY
SCALE : 1" = 20'-0"



WEST STREETSCAPE - OAK RIDGE WAY
SCALE : 1" = 20'-0"



EAST STREETSCAPE - OAK RIDGE WAY
SCALE : 1" = 20'-0"



NEIGHBORHOOD PLAN
SCALE : 1" = 60'-0"

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	17070 WILD WAY, LOS GATOS, CA.	
	OWNER	MR. BALA RANGABASHYAM
TELEPHONE NO.	(408) 838-4407	

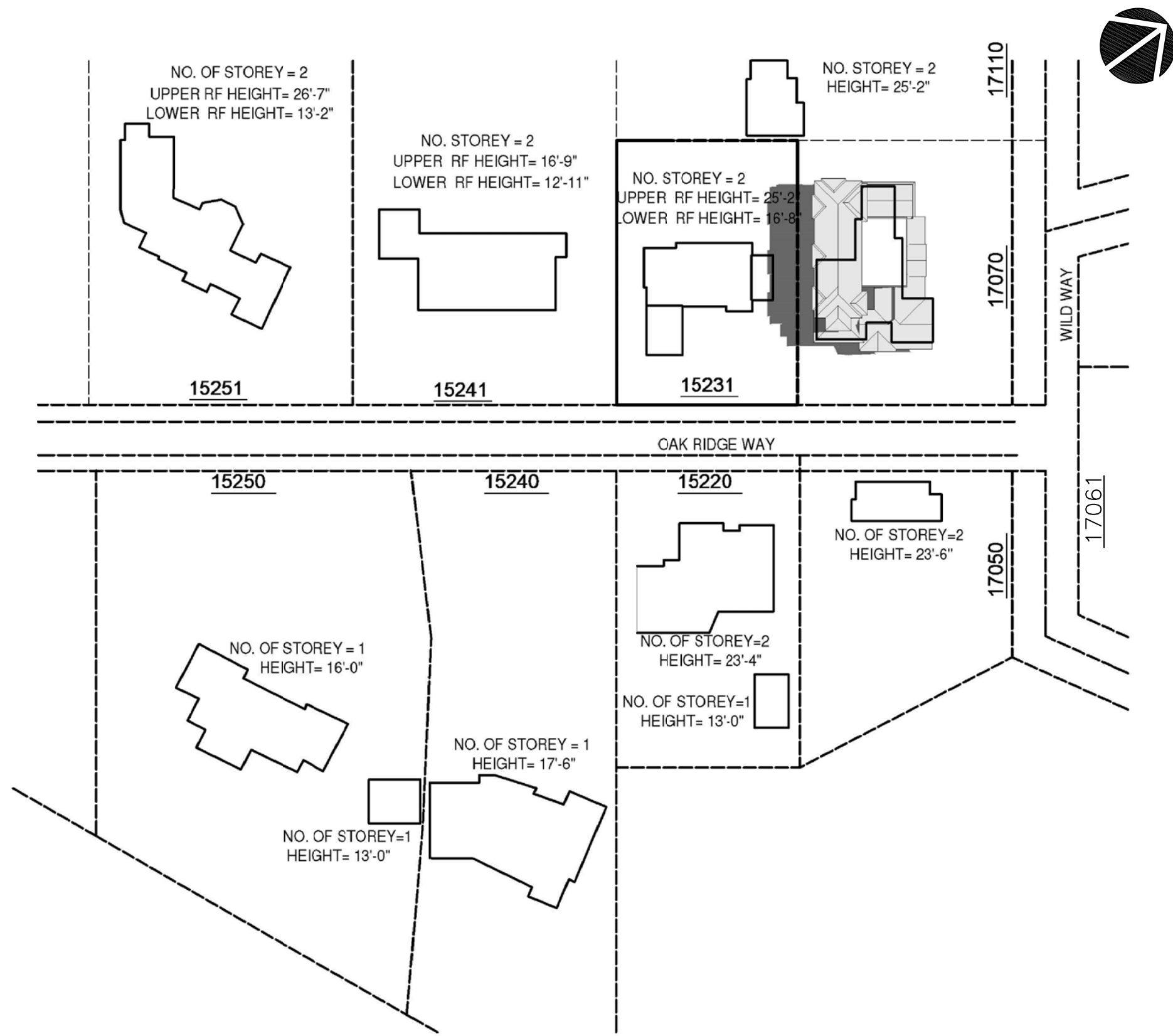
SHEET TITLE	STREETSCAPES
SCALE	

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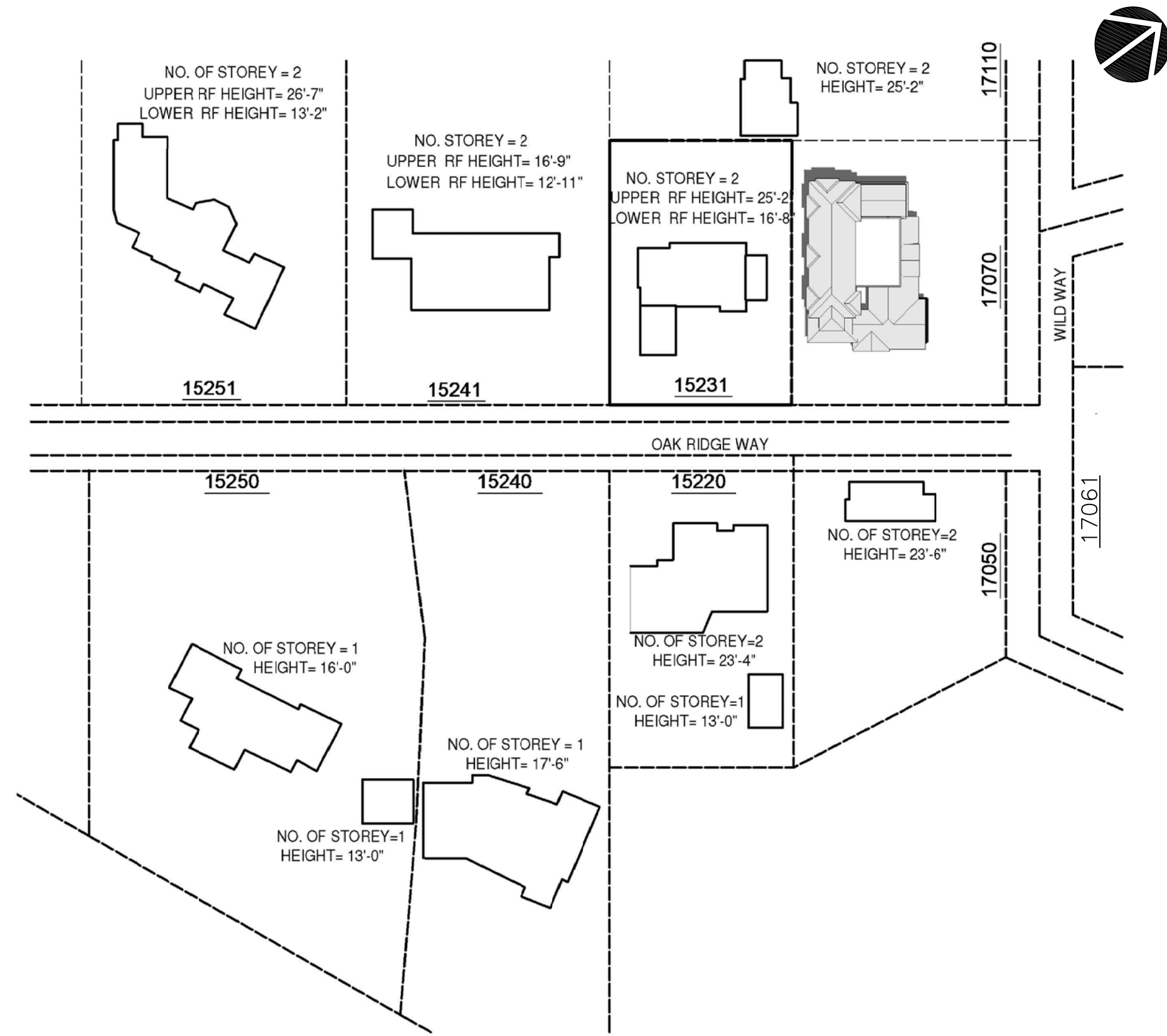
REVISION	1
REVISION	2
REVISION	3
REVISION	4
REVISION	5
REVISION	6

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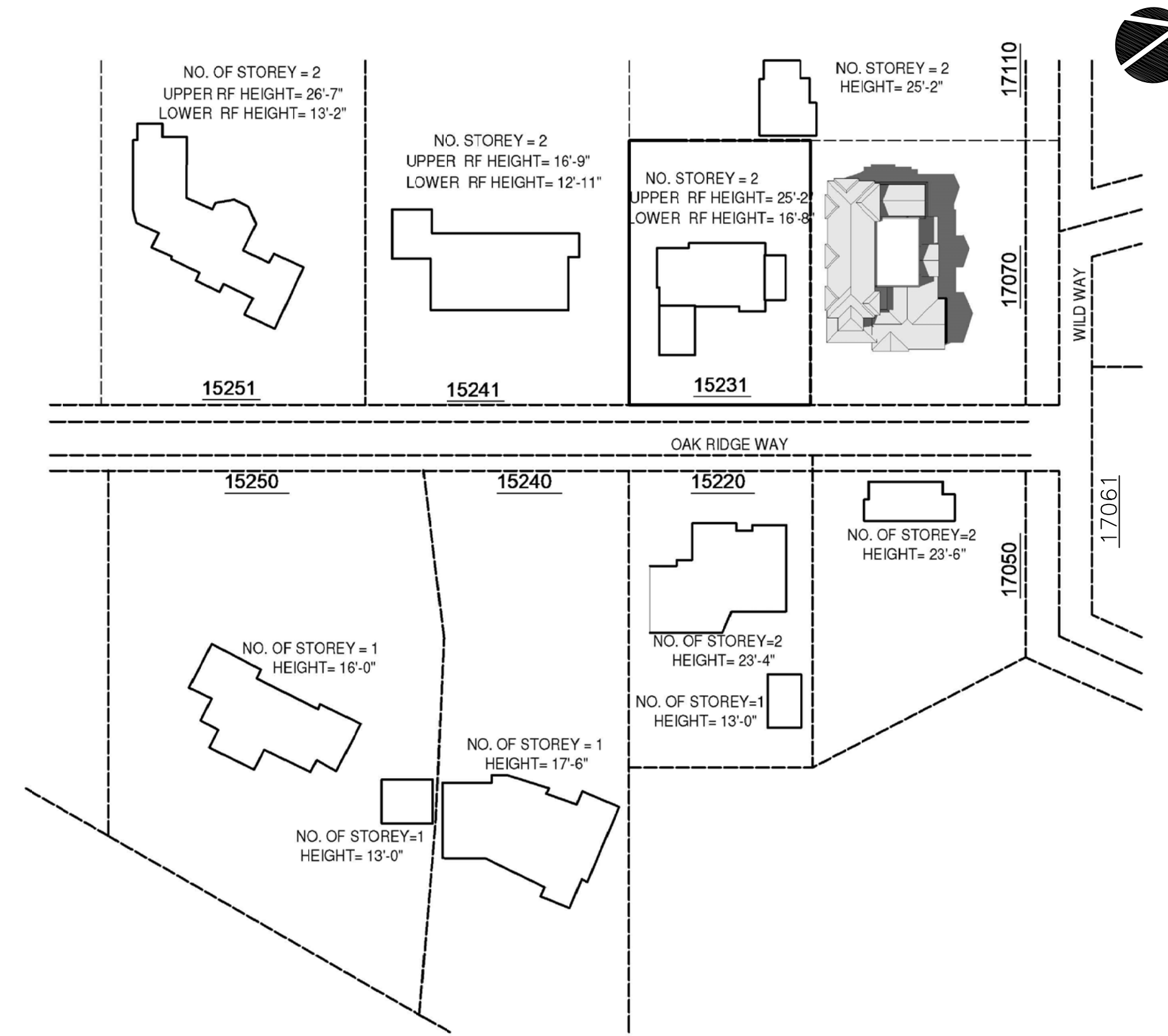
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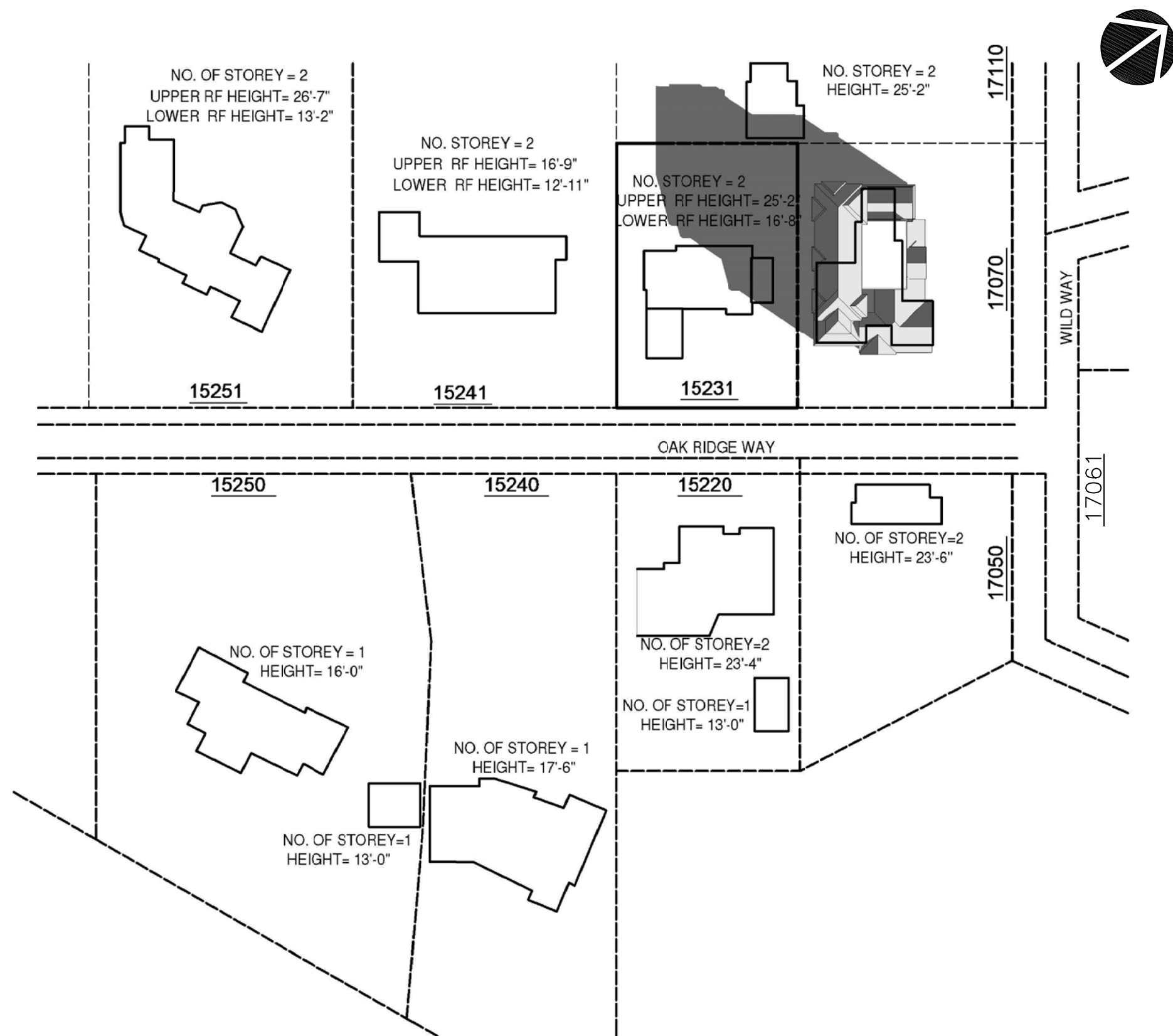
1 SUMMER SHADOW LINES - JUNE 21, 9:00 AM
1" = 60'-0"



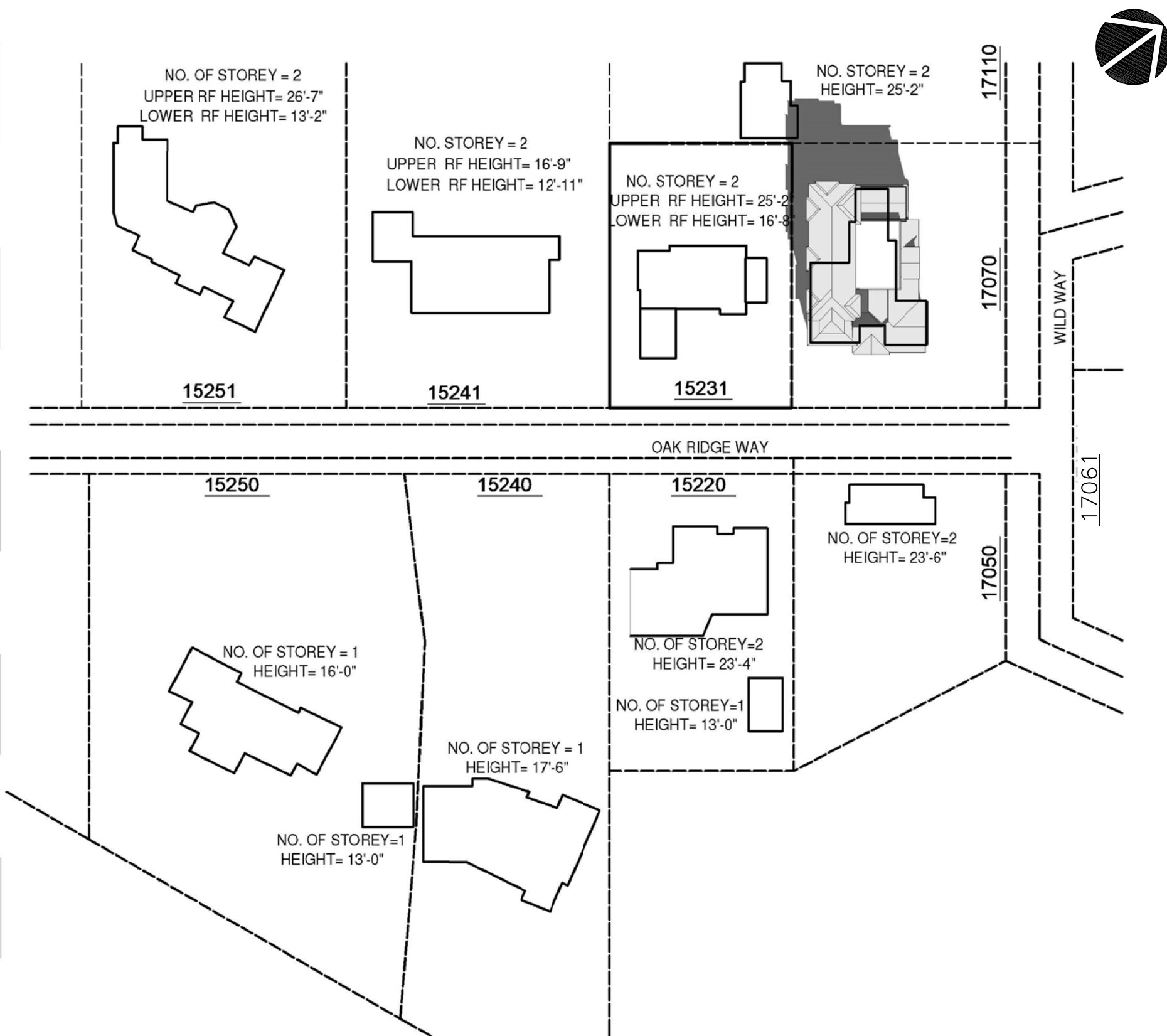
2 SUMMER SHADOW LINES - JUNE 21 12:00 NOON
1" = 60'-0"



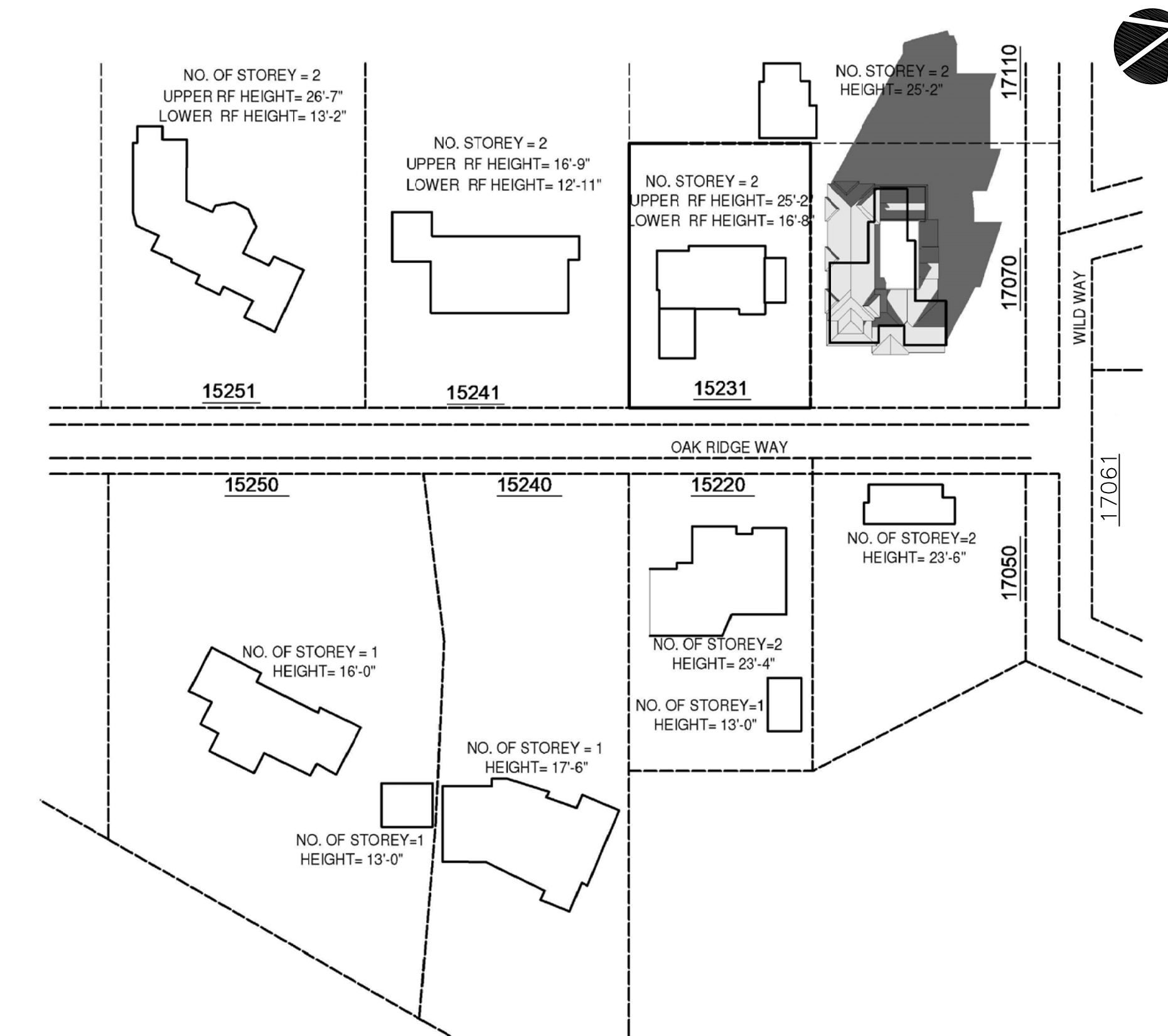
3 SUMMER SHADOW LINES-JUNE 21, 3:00PM
1" = 60'-0"



7 WINTER SHADOW LINES-DEC 21, 9:00AM
1" = 60'-0"



8 WINTER SHADOW LINES-DEC 21, 12:00NOON
1" = 60'-0"



9 WINTER SHADOW LINES-DEC 21, 3:00PM
1" = 60'-0"

PROJECT
NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

OWNER
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TELEPHONE NO. (408) 838-4407

SHEET TITLE
SHADOW STUDY

AS NOTED

SCALE

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REVISION 3

REVISION 4

REVISION 5

REVISION 6

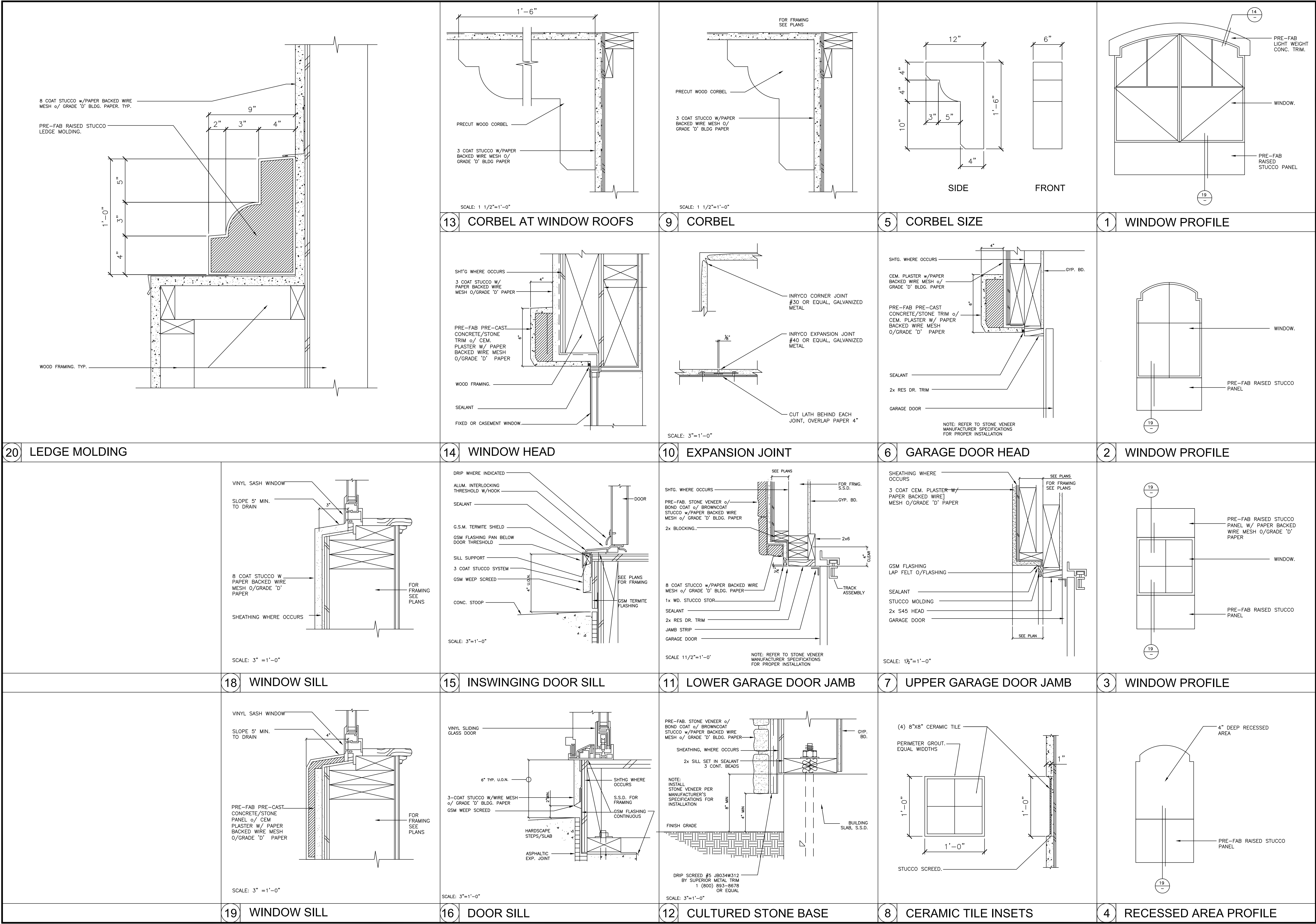
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A-9



PROJECT

NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

OWNER
MR. BALA RANGABASHYAM

TELEPHONE NO.
(408) 836-4407

SHEET TITLE

DETAILS

SCALE

REVISION

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

JOB NO.
S-18-056

DATE
06/26/20

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RTC

SHEET NO.

A-10

Single Family New Home

Version 6.0.2

D. DURABLE FLOORING AND FINISHES		D. DURABLE FLOORING AND FINISHES					
Yes	J1. Third-Party Verification of Quality of Insulation Installation	1		1			
TBD	J2. Supply and Return Air Flow Testing			1			
TBD	J3. Mechanical Ventilation Testing and Low Leakage			1			
TBD	J4. Combustion Appliance Safety Testing			1			
2013	J5. Building Performance Exceeds Title 24 Part 6	17		80			
TBD	J6. Title 24 Prepared and Signed by a CAREC Certified Energy Analyst			1			
TBD	J7. Participation in Utility Program with Third-Party Plan Review			1			
TBD	J8. ENERGY STAR for Homes			1			
No	J9. EPA Indoor Air Quality Certification	0		1			
TBD	J10. Blower Door Testing			2			
K. FINISHES		K. FINISHES					
TBD	K1. Entryways Designed to Reduce Tracked in Contaminants						
TBD	K1.1 Individual Entryways			1			
Yes	K2. Zero-VOC Interior Wall and Ceiling Paints	2		1			
Yes	K3. Low-VOC Counters and Adhesives	1		1			
TBD	K4. Environmentally Preferable Materials for Interior Finish						
TBD	K4.1 Cabinets				2		
TBD	K4.2 Interior Trim				2		
TBD	K4.3 Shelving				2		
TBD	K4.4 Countertops				1		
TBD	K5. Formaldehyde Emissions in Interior Finish Exceed CARB						
TBD	K5.1 Doors				1		
TBD	K5.2 Cabinets and Countertops				2		
TBD	K5.3 Interior Trim and Shelving				2		
TBD	K6. Products That Comply With the Health Product Declaration Open Standard				2		
TBD	K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion				1		
No	K8. Comprehensive Inclusion of Low-Emitting Finishes	0		1			
L. FLOORING		L. FLOORING					
TBD	L1. Environmentally Preferable Flooring				3		
TBD	L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential				3		
Yes	L3. Durable Flooring	1		1			
TBD	L4. Thermal Mass Flooring			1			
M. APPLIANCES AND LIGHTING		M. APPLIANCES AND LIGHTING					
Yes	M1. ENERGY STAR Dishwasher	1				1	
CEE Tier 2	M2. CEE-Rated Clothes Washer	2				2	
>0.05 ccf/yr	M3. Size-Efficient ENERGY STAR Refrigerator	2		1		2	
TBD	M4. Permanent Centers for Waste Reduction Strategies				1		
TBD	M4.1 Built-in Composting Center				1		
Yes	M5. Lighting Efficiency	2		2			
TBD	M5.1 High-Efficiency Lighting			2			
TBD	M5.2 Lighting System Designed to IEA/FIA Footcandle Standards or Designed by Lighting Consultant			2			
N. COMMUNITY		N. COMMUNITY					
TBD	N1. Street Development						
TBD	N1.1 Infill Site			1		1	
TBD	N1.2 Designated Brownfield Site			1		1	
TBD	N1.3 Consistent Resources by Increasing Density			2		2	
No	N1.4 Cluster Homes for Land Preservation	0		1		1	
TBD	N1.5 Home Size Efficiency				9		
Yes	N2. Home(s)/Development Located Within 1/2 Mile of a Major Transit Stop	2		2			
TBD	N3. Pedestrian and Bicycle Access	2		2			
10	N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services						
5	N3.2 Pedestrian Access to Services Within 1/2 Mile of Community Services						
Yes	N3.3 Connection to Pedestrian Pathways	1		1			
TBD	N4. Traffic Calming Strategies			1			
TBD	N4.1 Outdoor Gathering Places			1			
TBD	N4.2 Public or Semi-Public Outdoor Gathering Places for Residents			1			
TBD	N4.3 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services			1			
Yes	N5. Social Interaction						
Yes	N5.1 Residence Entries with Views to Callers	1		1			
Yes	N5.2 Entrances Visible from Street and/or Other Front Doors	1		1			
TBD	N5.3 Porches Oriented to Street and Public Space						
TBD	N5.4 Social Gathering Space			1			
TBD	N6. Passive Solar Design				2		
TBD	N6.1 Heating Load				2		
TBD	N7. Adaptable Building						
TBD	N7.1 Universal Design Principles in Units			1		1	
TBD	N7.2 Full-Function Independent Rental Unit			1			
O. OTHER		O. OTHER					
Yes	O1. GreenPoint Rated Checklist in Blueprint	Y	R	R	R	R	R
Yes	O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors	2		0.5		0.5	
Yes	O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs	2		0.5		0.5	
TBD	O4. Builder's or Developer's Management Staff are Certified Green Building Professionals			0.5		0.5	
TBD	O5. Home Systems Monitors						
TBD	O6. Green Building Education						
TBD	O6.1 Marketing Green Building			2			
TBD	O6.2 Green Building Signage			0.5		0.5	
Yes	O7. Green Approval Advertisement	Y	R	R	R	R	R
TBD	O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation					1	
Summary		Summary					
Total Available Points in Specific Categories		342	28	131	54	83	48
Minimum Points Required in Specific Categories		80	2	25	6	6	6
Total Points Achieved		80.5	8.0	28.0	15.5	21.0	10.0

© Build It Green

GreenPoint Rated New Home Single Family Checklist Version 6.0

Single Family New Home

Version 6.0.2

D6. RBC-Certified Wood		D6. RBC-Certified Wood					
TBD	D6.1 Dimensional Lumber, Studs, and Timber					6	
TBD	D6.2 Treated Products					3	
D6. Solid Wall Systems		D6. Solid Wall Systems					
TBD	D6.1 At Least 50% of Floors				1		
TBD	D6.2 At Least 50% of Exterior Walls				1		
TBD	D6.3 At Least 50% of Roofs				1		
TBD	D6.4 Overhangs and Gutters				1		
TBD	D6.5 Energy Heats on Roof Trusses				1		
D9. Reduced Pollution Entering the Home from the Garage		D9. Reduced Pollution Entering the Home from the Garage					
TBD	D9.1 Detached Garage				2		
TBD	D9.2 Attached Garage				1		
Yes	D10.1 All Wood Located At Least 12 Inches Above the Soil	1			1		
TBD	D10.2 Wood Framing Treated With Borates or Factory-Integrated, or UGAL						
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)	2			1		
B. EXTERIOR		B. EXTERIOR					
No	B1. Environmentally Preferable Decking	0			1		
TBD	B2. Flashing Installation Third-Party Verified				2		
TBD	B3. Rain Sensor Wire System				1		
Yes	B4. Durable and Non-Combustible Cladding Materials	1			1		
TBD	B5. Durable Roofing Materials						
TBD	B5.1 Durable and Fire-Resistant Roofing Materials or Assembly			2	2	1	
TBD	B6. Vegetated Roof						
F. INSULATION		F. INSULATION					
Yes	F1. Insulation with 50% Post-Consumer or 50% Post-Industrial Recycled Content	1			1		
Yes	F1.1 Walls and Floors				1		
Yes	F1.2 Ceilings				1		
TBD	F2. Insulation That Meets the CDPH Standard Method—Residential for Low Emissions				1		
TBD	F2.1 Walls and Floors				1		
TBD	F2.2 Ceilings				1		
TBD	F3. Insulation That Does Not Contain Fire Retardants				1		
TBD	F3.1 Cavity Walls and Floors				1		
TBD	F3.2 Ceilings				1		
TBD	F3.3 Interior and Exterior				1		
G. PLUMBING		G. PLUMBING					
TBD	G1. Efficient Distribution of Domestic Hot Water				1		
TBD	G1.1 Insulated Hot Water Pipes				1		
TBD	G1.2 WaterSense Volume Limit for Hot Water Distribution				1		
TBD	G1.3 Increased Efficiency in Hot Water Distribution				2		
TBD	G2. Install Water-Efficient Fixtures						
TBD	G2.1 WaterSense Showersheads with Matching Compensation Valve				2		
TBD	G2.2 WaterSense Bathroom Faucets				1		
TBD	G2.3 WaterSense Toilets with a Maximum Performance (MPS) Threshold of No Less Than 500 Gpm				1		
TBD	G3. Pre-Plumbing for Graywater System				1		
TBD	G4. Operational Graywater System				3		
H. HEATING, VENTILATION, AND AIR CONDITIONING		H. HEATING, VENTILATION, AND AIR CONDITIONING					
Yes	H1. Sealed Combustion Units	1			1		
Yes	H1.1 Sealed Combustion Furnace	2			2		
TBD	H2. High-Performing Zoned Hydronic Radiant Heating System			1	1		
Yes	H3. Effective Ductwork						
Yes	H3.1 Duct Made on Duct Joints and Seams	1			1		
TBD	H3.2 Pressure Balance the Ductwork System				1		
Yes	H4. ENERGY STAR Bathroom Fans Per HVI Standards with Air Flow Verified	1			1		
Yes	H5. Advanced Practices for Ceiling						
TBD	H5.1 ENERGY STAR Ceiling Fans in Living Areas and Bedrooms				1		
Yes	H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality	Y	R	R	R	R	R
TBD	H6.1 Meet ASHRAE 62.2-2010 Ventilation Residential Standards				1		
TBD	H6.2 Outdoor Air Ducted to Bedroom and Living Areas				3		
Yes	H7. Effective Range Hood Design and Installation						
Yes	H7.1 Effective Range Hood Design and Design	1			1		
TBD	H7.2 Automatic Range Hood Control				1		
Yes	H8. No Rerogation or Sealed Gas Fireplace	1			1		
TBD	H9. Humidity Control Systems						
TBD	H10. Register Design Per ACCA Manual T			1	1		
Yes	H11. High Efficiency HVAC Filter (MERV 8+)	1			1		
I. RENEWABLE ENERGY		I. RENEWABLE ENERGY					
TBD	I1. Pre-Plumbing for Solar Water Heating				1		
TBD	I2. Preparation for Future Photovoltaic Installation				1		
TBD	I3. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)				25		
TBD	I4. Net Zero Energy Home			2			
TBD	I4.1 Net Zero Energy Home			4			
TBD	I4.2 Net Zero Electric						

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GreenPoint Rated New Home Single Family Checklist Version 6.0

GreenPointRATED

NEW HOME RATING SYSTEM, VERSION 6.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource-efficient buildings in California.

The minimum requirements of GreenPoint Rated are verification of 80 or more points. Earn the following minimum points per category: Community (5), Energy (22), Indoor Air Quality/Health (5), Resources (5), and Water (5), and meet the prerequisites CALGreen Marsh+H&S 1, 6.5.1, 01, 07.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpointrated. Build It Green is not a code enforcement agency.

Points Achieved: 81

Certification Level: Silver

POINTS REQUIRED

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

17070 Wild Way, Los Gatos, CA
Arash Firouzjaei, Certified Green Building Professional

MEASURES		Points Achieved	Community	Energy	Indoor Air Quality/Health	Resources	Water	NOTES
CALGreen		Possible Points						
Yes	CALGreen Res (REQUIRED)	4	1	1	1	1	1	
A. SITE								
Yes	A1. Construction Footprint	1						
TBD	A2. Job Site Construction Waste Diversion	2						
Yes	A2.1 60% C&D Waste Diversion (Including Alternative Daily Cover)			2				
Yes	A2.2 80% C&D Waste Diversion (Excluding Alternative Daily Cover)	4			2			
TBD	A2.3 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility				1			
TBD	A3. Recycled Content Base Material					1		
TBD	A4. Heat Island Effect Reduction (Non-Roof)						1	
TBD	A5. Construction Environmental Quality Management Plan Including Flush-Out							
TBD	A6. Stormwater Control: Prescriptive Path						1	
TBD	A6.1 Permeable Paving Material						1	
TBD	A6.2 Erosion and Sedimentation Features						1	
TBD	A6.3 Non-Leaching Roofing Materials						1	
TBD	A6.4 Stormwater Street Design						1	
TBD	A7. Stormwater Control: Performance Path						3	
B. FOUNDATION								
Yes	B1. Fly Ash and/or Slag in Concrete	1				1		
Yes	B2. Radon Resistant Construction	2			2			
TBD	B3. Foundation Drainage System							
TBD	B4. Moderate Compacted Crawlspace				1			
Yes	B5. Structural Pest Controls	1						
TBD	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections						1	
TBD	B5.2 Plant Trunks, Stems, or Stems at Least 30 Inches from the Foundation						1	
C. LANDSCAPE								
Yes	C1. Landscape Area Percentage	3					3	
TBD	C1.1 Plants Grouped by Water Needs (Hydrozoning)						1	
TBD	C1.2 Three Inches of Mulch in Planting Beds						1	
TBD	C2. Resource Efficient Landscapes							
TBD	C2.1 No Invasive Species Listed by Cal IJC						1	
TBD	C2.2 Plants Chosen and Located to Grow to Natural Size						1	
Yes	C2.3 Drought Tolerant California Native, Mediterranean Species, or Other Appropriate Species							
Yes	C4. Minimal Turf in Landscape							
Yes	C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide	2					2	
TBD	C4.2 Turf on a Small Percentage of Landscaped Area						2	
Yes	C5. Trees to Moderate Building Temperature			1	1			
TBD	C6. High-Efficiency Irrigation System						1	
TBD	C6.1 One Inch of Compact in the Top Six to Twelve Inches of Soil						2	
TBD	C6.2 Rainwater Harvesting System						1	
TBD	C6.3 Recycled Wastewater Irrigation System						1	
TBD	C6.4 Submeter or Dedicated Meter for Landscape Irrigation						2	
TBD	C11. Landscape Meets Water Budget							
TBD	C12. Environmentally Preferable Materials for Site Elements and Finishing							
TBD	C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape						1	
Yes	C12.2 Reduced Light Pollution	1						
TBD	C14. Large Stature Trees							
TBD	C15. Third-Party Landscape Program Certification						1	
TBD	C16. Maintenance Contract with Certified Professional						1	
D. STRUCTURAL FRAME AND BUILDING ENVELOPE								
Yes	D1. Optimal Value Engineering	3						
Yes	D1.1 Joist, Rafters, and Studs at 24 Inches on Center			1				
Yes	D1.2 Non-Load Bearing Door and Window Headers Sized for Load	1						
TBD	D1.3 Advanced Framing Measures						2	
TBD	D2. Construction Material Efficiencies							
Yes	D3. Engineered Lumber							
TBD	D3.1 Engineered Beams and Headers						1	
TBD	D3.2 Wood Joists or Web Trusses for Floors						1	
TBD	D3.3 Engineered Lumber for Roof Rafter						1	
Yes	D3.4 Engineered or Finger-Jointed Studs for Vertical Applications							
Yes	D3.5 OSB for Subfloor	0.5					0.5	
TBD	D3.6 OSB for Wall and Roof Sheathing							
TBD	D4. Insulated Headers							

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GreenPoint Rated New Home Single Family Checklist Version 6.0

PROJECT

NEW TWO STORY RESIDENCE
17070 WILD WAY, LOS GATOS, CA.

OWNER

MR. BALA RANGABASHYAM

TELEPHONE NO.

(408) 838-4407

SHEET TITLE

GREEN BUILDING CHECKLIST

SCALE

AS NOTED

REVISION

REVISION 2

REVISION 3

REVISION 4

REVISION 5

REVISION 6

JOB NO.

S-18-056

DATE

06/26/20

DRAWN BY

RTC

TOWN OF LOS GATOS STANDARD GRADING NOTES

1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
- a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
4. APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
5. APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
6. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
7. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
8. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULARS.
9. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
- a. RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - b. TOE AND TOP OF CUT AND FILL SLOPES.
12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS. SOILS ENGINEER REDWOOD GEOTECHNICAL ENGINEERING, INC LETTER NO. 2279SCL DATED OCTOBER, 2015 SHALL BE THOROUGHLY COMPLIED WITH, BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
15. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
17. OWNER/APPLICANT: BALA RANGABASHYAM PHONE: (415) 595-3458
18. GENERAL CONTRACTOR: _____PHONE: _____
19. GRADING CONTRACTOR: _____PHONE: _____

20. CUT: _____261 CY EXPORT: _____224 CY
FILL: _____37 CY IMPORT: _____0 CY
21. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
23. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
24. NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
25. IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

1. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
2. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
3. APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
5. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPS) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
7. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
8. DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

GRADING AND DRAINAGE PLANS

17070 WILD WAY, LOS GATOS, CA 95030

GRADING PERMIT APPLICATION NO. S-18-056

ASSESSOR'S PARCEL NO. 424-30-025

PROJECT DATA	
1 PROJECT ADDRESS:	17070 WILD WAY, LOS GATOS, CA 95030
2 PROJECT OWNER:	BALA RANGABASHYAM
3 ASSESSORS PARCEL NUMBER:	424-30-025
4 EXISTING USE:	RESIDENTIAL
5 EXISTING ZONING:	R-1:20
6 PROPOSED USE:	RESIDENTIAL
7 PROPOSED ZONING:	R-1:20
8 SITE AREA:	0.48 ACRES MORE OR LESS
9 APPLICANT/DEVELOPER:	BALA RANGABASHYAM
10 CONSULTANTS:	
A. ARCHITECT:	
B. SOIL ENGINEERING:	REDWOOD GEOTECHNICAL ENGINEERING, INC 624 SENECA CT, SAN JOSE, CA 95123 TEL: (408) 227-5168
C. SURVEYOR:	TOM H. MILO, LS 6438 2250 BOHANNON DRIVE SANTA CLARA, CA 95050 TEL: (408) 615-8855
D. CIVIL ENGINEER:	LC ENGINEERING 598 E. SANTA CLARA ST, #270 SAN JOSE, CA 95112 TEL: (408) 806-7187
11 WATER SUPPLY:	SAN JOSE WATER COMPANY
12 SANITARY SEWER DISPOSAL:	WEST VALLEY SANITATION DISTRICT (WVSD)
13 GAS AND ELECTRIC:	PACIFIC GAS AND ELECTRIC
14 TELEPHONE:	
15 CABLE:	
16 STORM DRAIN:	WEST VALLEY CLEAN WATER PROGRAM
17 FIRE PROTECTION:	SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT
18 DATUM:	MAG NAIL, ELEV = 371.87' (NAVD88) BASED ON GPS OBSERVATION
19 BASIS OF BEARINGS	THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF WILD WAY AS FOUND MONUMENTED AS N55°57'50"W SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 857 OF MAPS, AT PAGE 12, SANTA CLARA COUNTY RECORDS.
20 BENCHMARK INFORMATION	MAG NAIL ELEVATION=375.75' (LOCATION SEE SHEET C4)

ABBREVIATIONS

AB	AGGREGATE BASE	M	BOOK OF MAPS AT PAGE
AC	ASPHALT CONCRETE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
AE	ANCHOR EASEMENT	N&S	NAIL AND SILVER
BB	BUBBLER BOX	NTS	NOT TO SCALE
BLDG	BUILDING	OH	OVERHEAD
BSL	BUILDING SETBACK LINE	OG	ORIGINAL GROUND
BW	BACK OF WALK	OS	OFFSET
BWL	BOTTOM OF WALL	P	PAVEMENT FINISH GRADE
CATV	CABLE TELEVISION	PA	PATIO
CED	COBBLE ROCK ENERGY DISSIPATOR	PAD	PAD ELEVATION
CG	CURB & GUTTER	FDC	FIRE DEPARTMENT CONNECTION
CL	CENTERLINE	P	PROPERTY LINE
CLF	CHAIN LINK FENCE	PEE	PEDESTRIAN EQUESTRIAN EA
CO	SANITARY SEWER CLEANOUT	PERF	PERFORATED
COP	CURB OPENING	PM	PARCEL MAP
CONC	CONCRETE	PP	POWER POLE PROP PROPOSED
CSD	COUNTY STANDARD DETAIL	PSDE	PRIVATE STORM DRAINAGE EASEMENT
CE	DRAINAGE EMITTER	PSE	PUBLIC SERVICE EASEMENT
DI	DRAINAGE INLET	PUE	PUBLIC UTILITY EASEMENT
DOC	DOCUMENT	PVMT	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	R	RADIUS
EA	EASEMENT	RW	RETAINING WALL
ELEV	ELEVATION	RE	ROAD EASEMENT
EM	ELECTRIC METER	REM	REMOVE
E(OH)	ELECTRIC OVERHEAD	R/W	RIGHT OF WAY
E(UG)	ELECTRIC UNDERGROUND	SB	SETBACK
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EV	ELECTRIC VAULT	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SE	SLOPE EASEMENT
FC	FACE OF CURB	SS	SANITARY SEWER/LATERAL
FD	FOUND	SSE	SANITARY SEWER EASEMENT
FF	FINISH ELEVATION OF SUBFLOOR	STA	STATION
FG	GROUND FINISH GRADE	STD	STANDARD DETAIL
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOW LINE	TOB	TOP OF BANK
FM	FORCED MAIN	TC	TOP OF CURB
FS	FIRE SERVICE	TEMP	TEMPORARY
FT	FEET	TOP	TOP OF COVER
G	GARAGE SLAB ELEVATION/GAS LINE	TOE	TOE OF BANK
GPE	GENERAL PUBLIC EASEMENT	TG	TOP OF GRATE
GM	GRADING SETBACK	TPF	TREE PROTECTION FENCE
HP	GAS METER	TW	TOP OF WALL
IEE	HI POINT	TYP	TYPICAL
INV	INGRESS/EGRESS EASEMENT	UE	UTILITY EASEMENT
IP	INVERT	VG	VALLEY GUTTER
IP	IRON PIPE	W	WATER
JP	JOINT POLE	WCE	WIRE CLEARANCE EASEMENT
LP	LIP OF GUTTER	WE	WATER EASEMENT
LRDA	LEAST RESTRICTIVE DEVELOPMENT AREA	WLK	WALKWAY
LS	LANDSCAPED AREA	WM	WATER METER
MAX	MAXIMUM	WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE

AVERAGE SLOPE CALCULATION

$$S = \frac{0.0023 \times (I) \times (L)}{A}$$

WHERE

S = AVERAGE SLOPE OF THE AREA IN PERCENT

I = CONTOUR INTERVAL

L = TOTAL LENGTH OF CONTOUR LINES IN FEET

A = AREA EXPRESSED IN ACERS

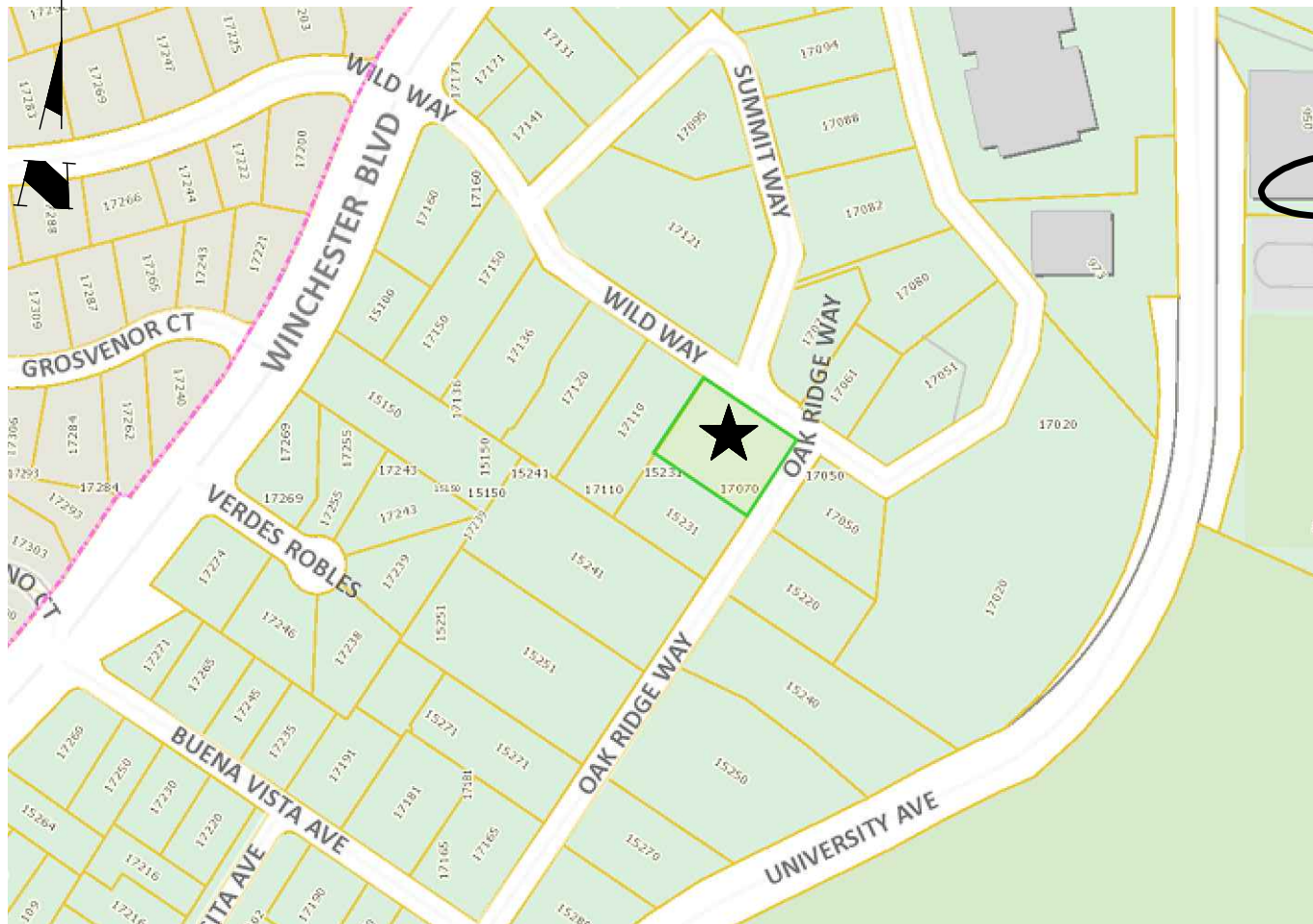
$$S = \frac{0.0023 \times (1) \times (1,265)}{0.48} = 6.1\%$$

SCOPE OF WORK

1. GRADE DRIVEWAY & HOUSE SITE
2. PAVE DRIVEWAY & WALKWAY
3. SEED/LANDSCAPE ALL DISTURBED AREAS

SHEET INDEX

1. TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS
2. BLUEPRINT FOR A CLEAN BAY SHEET
3. DEMOLITION PLAN
4. GRADING AND DRAINAGE PLAN
5. DRIVEWAY PROFILE & CROSS SECTIONS
6. TOWN'S STANDARD AND RETENTION DETAILS
7. EROSION CONTROL PLAN
8. EROSION CONTROL DETAILS



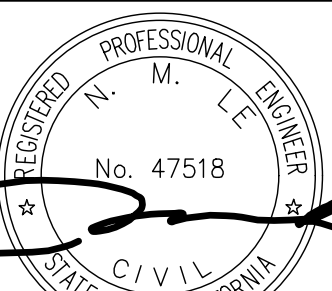
VICINITY MAP
NTS

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA: 20,824± SF	TOTAL SITE AREA DISTURBED: (INCLUDING CLEARING, GRADING OR EXCAVATING) 15,490± SF			
EXISTING AREA (SF)	PROPOSED AREA (SF)		TOTAL AREA POST-PROJECT (SF)	
	REPLACED	NEW		
IMPERVIOUS AREA	7,945	5,130	0	5,130
TOTAL NEW & REPLACED IMPERVIOUS AREA	5,130			
PERVIOUS AREA	12,879	12,879	2,815	15,694

TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (FT)	FILL (CY)	MAX FILL DEPTH (FT)	IMPORT/ EXPORT (CY)
HOUSE FOOTPRINT	--	--	--	--	--
CELLAR	--	--	--	--	--
ATTACHED GARAGE	19	0.5	--	--	19
ACCESSORY BUILDING	--	--	--	--	--
POOL	--	--	--	--	--
DRIVEWAY/ACCESS	50	2.0	--	--	50
LANDSCAPE/OUTDOOR	192	1.0	37	1.0	155
TOTAL	261		37		224

LEGEND

EXISTING	PROPOSED	TO BE REMOVED
SIDEWALK		
CURB AND GUTTER		
CENTER LINE		
PROPERTY LINE		
LOT LINE		
EASEMENT LINE		
EDGE OF PAVEMENT		
DRIVEWAY		
PCC		
AC		
STANDARD MONUMENT		
BENCH MARK		
MANHOLE		
SANITARY SEWER CLEANOUT		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
STORM DRAIN INLET		
WATER METER		
VALVE		
FIRE HYDRANT		
STREET LIGHT		
POWER POLE		
PULL BOX		
CABLE TELEVISION LINE		
ELECTRICAL LINE		
ELECTRICAL METER		
IRRIGATION LINE		
NATURAL GAS LINE		
OVERHEAD LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
TELEPHONE LINE		
WATER LINE		
TRAFFIC SIGNAL CONDUIT		
LIGHTING CONDUIT		
ROADSIDE SIGN & SIGN CODE		
FENCE		
TREE/SHRUB		
CONTOUR LINES		
RETAINING WALL		



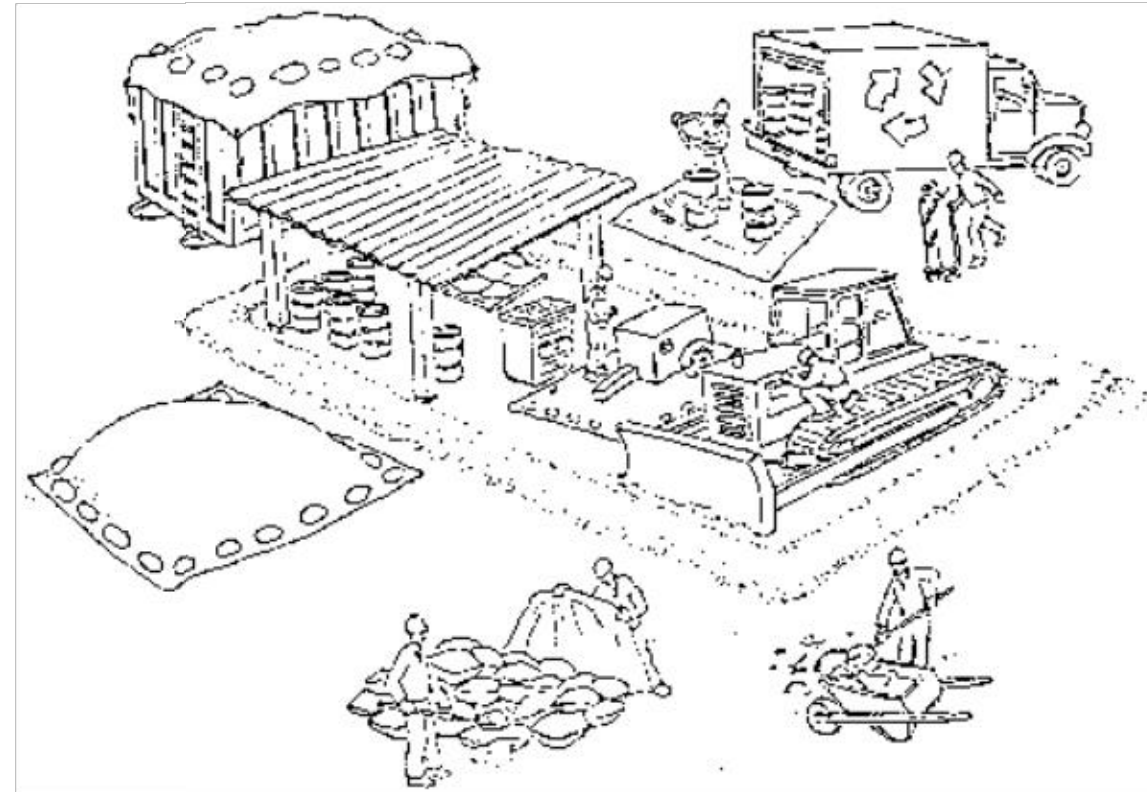
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CHECK:	NL
ENGR:	NL

GRADING AND DRAINAGE PLANS
17070 WILD WAY
TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS
GRADING PERMIT APPLICATION NO. S-18-056
PARKS AND PUBLIC WORKS DEPARTMENT
TOWN OF LOS GATOS

LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 888-4006

REVISIONS	DATE	BY

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



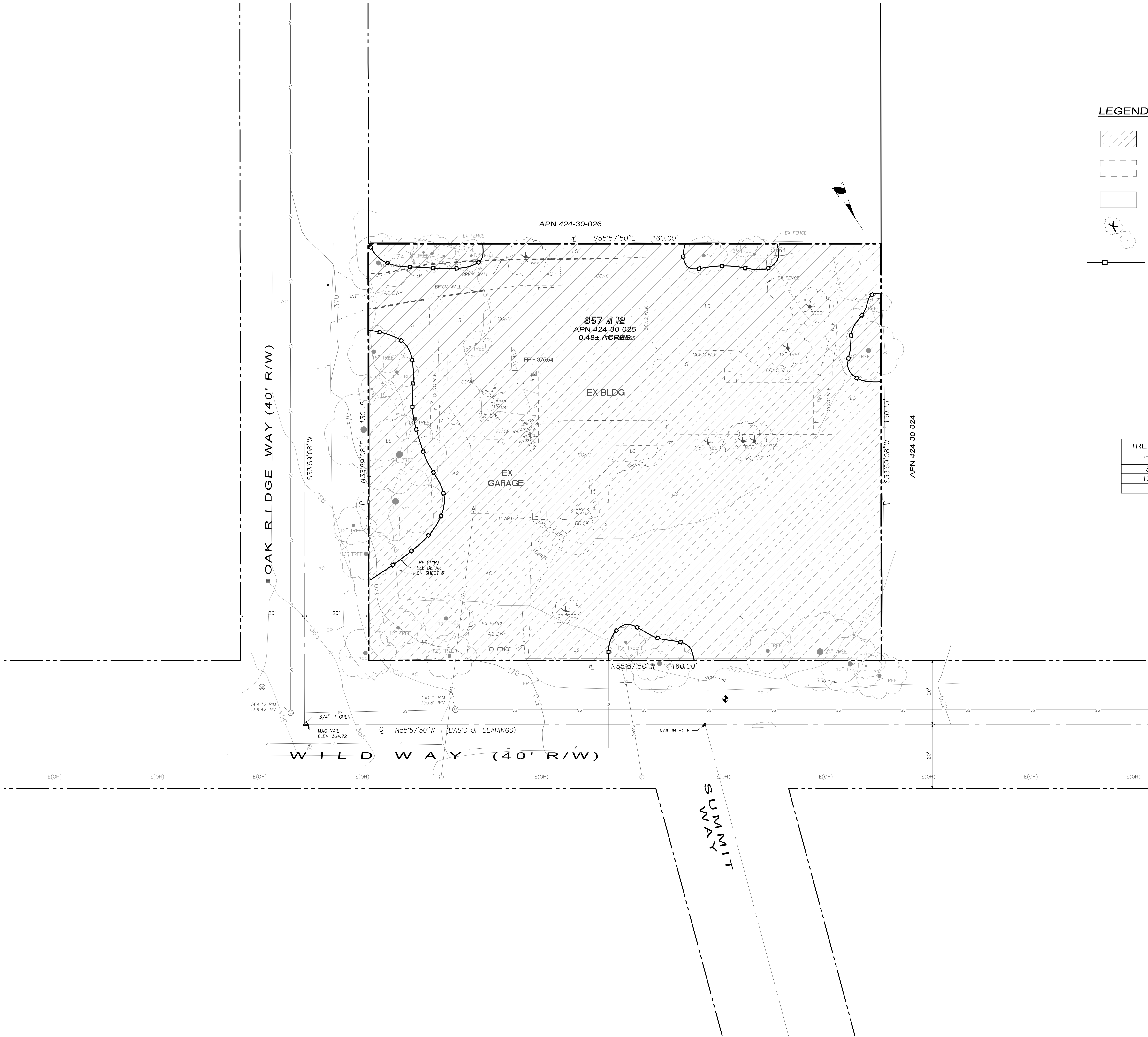
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

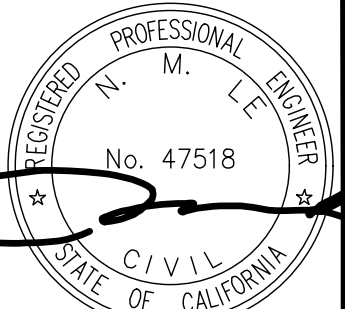
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



LEGEND

- REMOVE ALL EXISTING IMPROVEMENTS WITHIN THE PROPERTY LIMITS
- AREA OR ITEM TO BE REMOVED
- AREA OR ITEM TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE

TREES TO BE REMOVED	
ITEM	QUANTITY
8" TREE	2
12" TREE	4
TOTAL	6



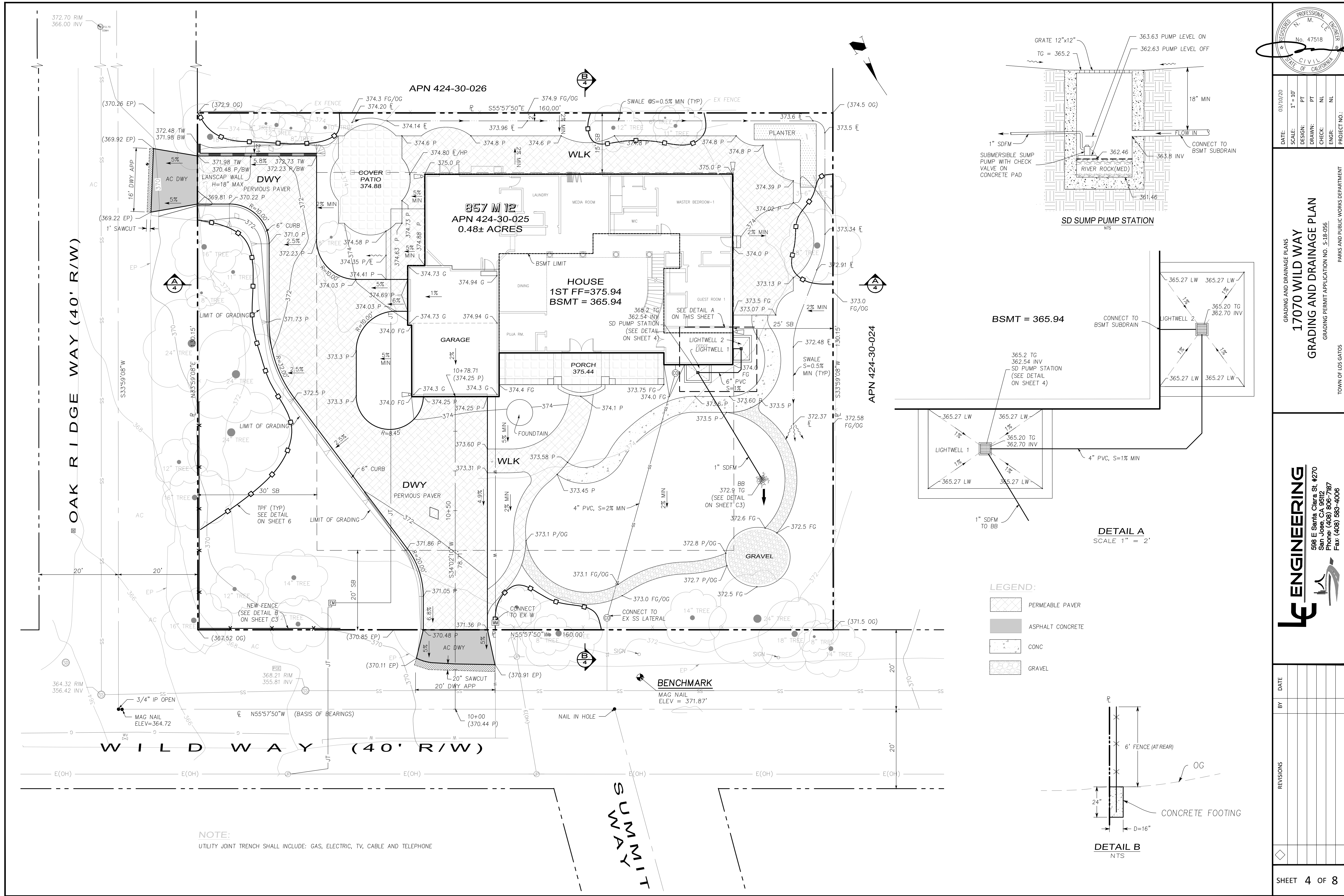
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ENGR:	NL

GRADING AND DRAINAGE PLANS
17070 WILD WAY
DEMOLITION PLAN
GRADING PERMIT APPLICATION NO. S-18-056

TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95102
Phone: (408) 806-7187
Fax: (408) 882-4006

REVISIONS	BY	DATE



- LEGEND:
- PERMEABLE PAVER
 - ASPHALT CONCRETE
 - CONC
 - GRAVEL

DETAIL A
SCALE 1" = 2'

DETAIL B
NTS

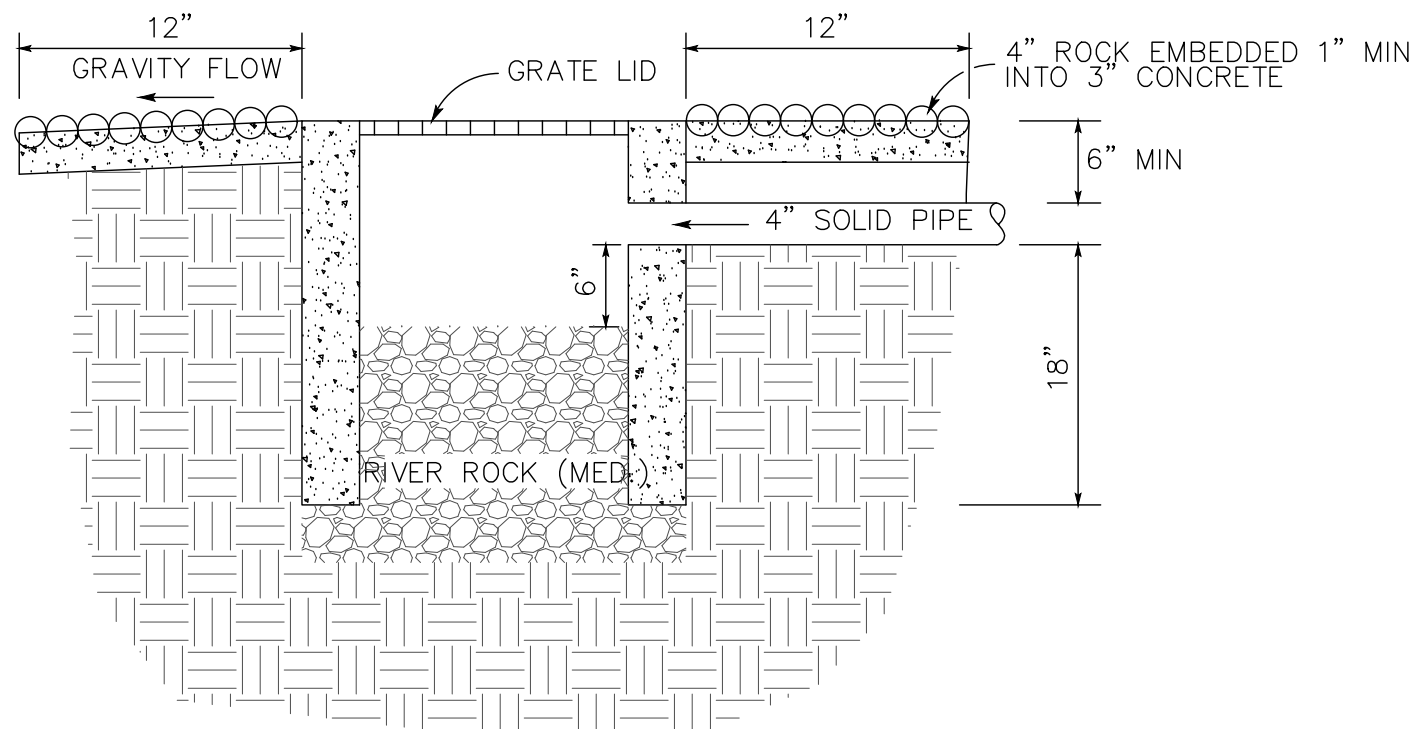


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GRADING AND DRAINAGE PLANS
17070 WILD WAY
GRADING AND DRAINAGE PLAN
GRADING PERMIT APPLICATION NO. S-18-056
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95128
Phone: (408) 806-7187
Fax: (408) 883-4006

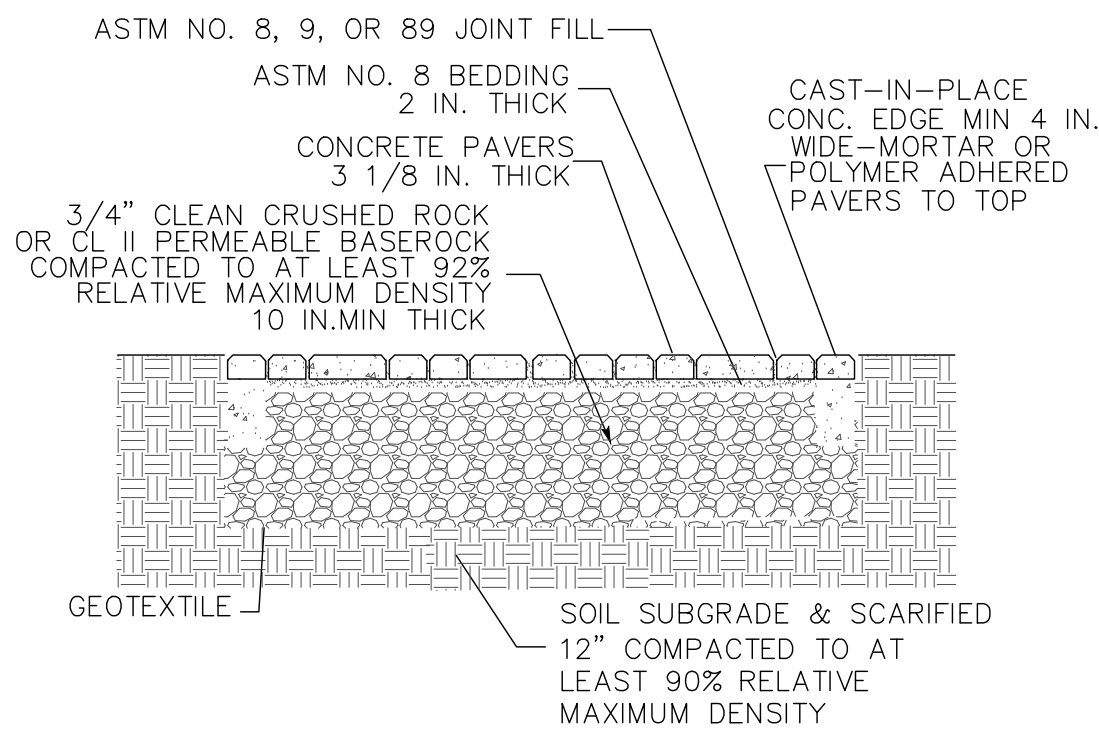
REVISIONS	BY	DATE



BUBBLER BOX

NOTE:

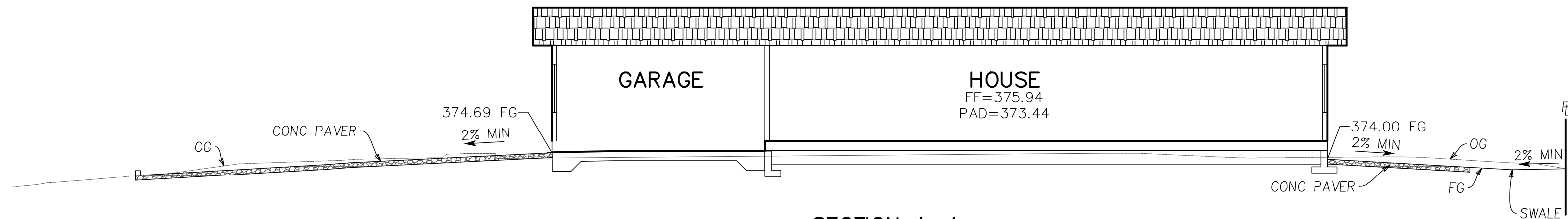
1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



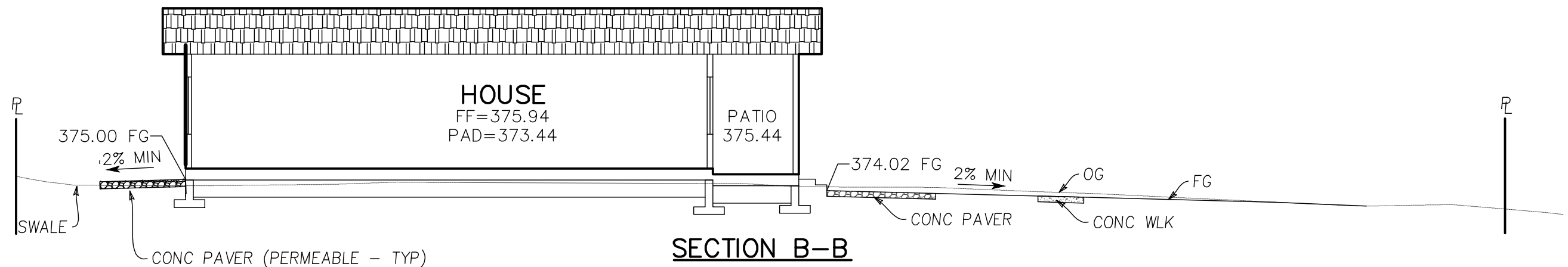
TYPICAL CONCRETE PAVER SECTION

NOTES:

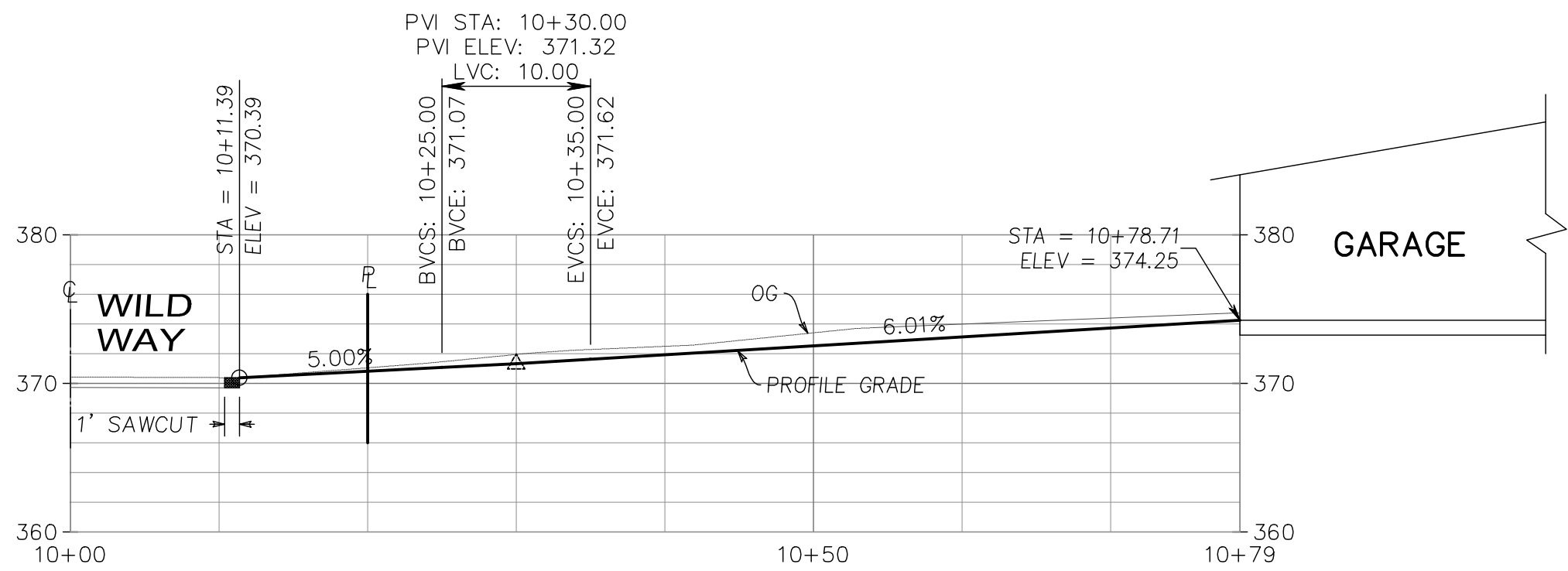
1. DESIGN, MATERIAL AND CONSTRUCTION GUIDELINES TO FOLLOW INTERLOCKING CONCRETE PAVEMENT INSTITUTE GUIDE SPECIFICATIONS.
2. APPLY WATERPROOF MEMBRANE VERTICALLY AGAINST HOUSE FOUNDATION PRIOR TO PLACING SUBBASE AND BASE.
3. USE SOIL BERMS FOR LONGITUDINAL SOIL SUBGRADE SLOPES EXCEEDING 2%.
4. CAST-IN-PLACE CONCRETE CURBS CAN BE WITHOUT PAVERS ON TOP. IN SUCH CASES, CURBS SHOULD BE LEVEL WITH CONCRETE PAVER FIELD.
5. THE UPPER PAVEMENT SUBGRADE SOIL AND THE AGGREGATE BASE COURSE SHOULD BE COMPACTED TO A MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY, AS TESTED BY THE GEOTECHNICAL ENGINEER.
6. THE PAVER SYSTEM DRAINAGE, EDGE RESTRAINTS, BEDDING SAND, MAINTENANCE, AND OTHER ASPECTS OF THE DESIGN AND CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PAVER SYSTEM MANUFACTURER.



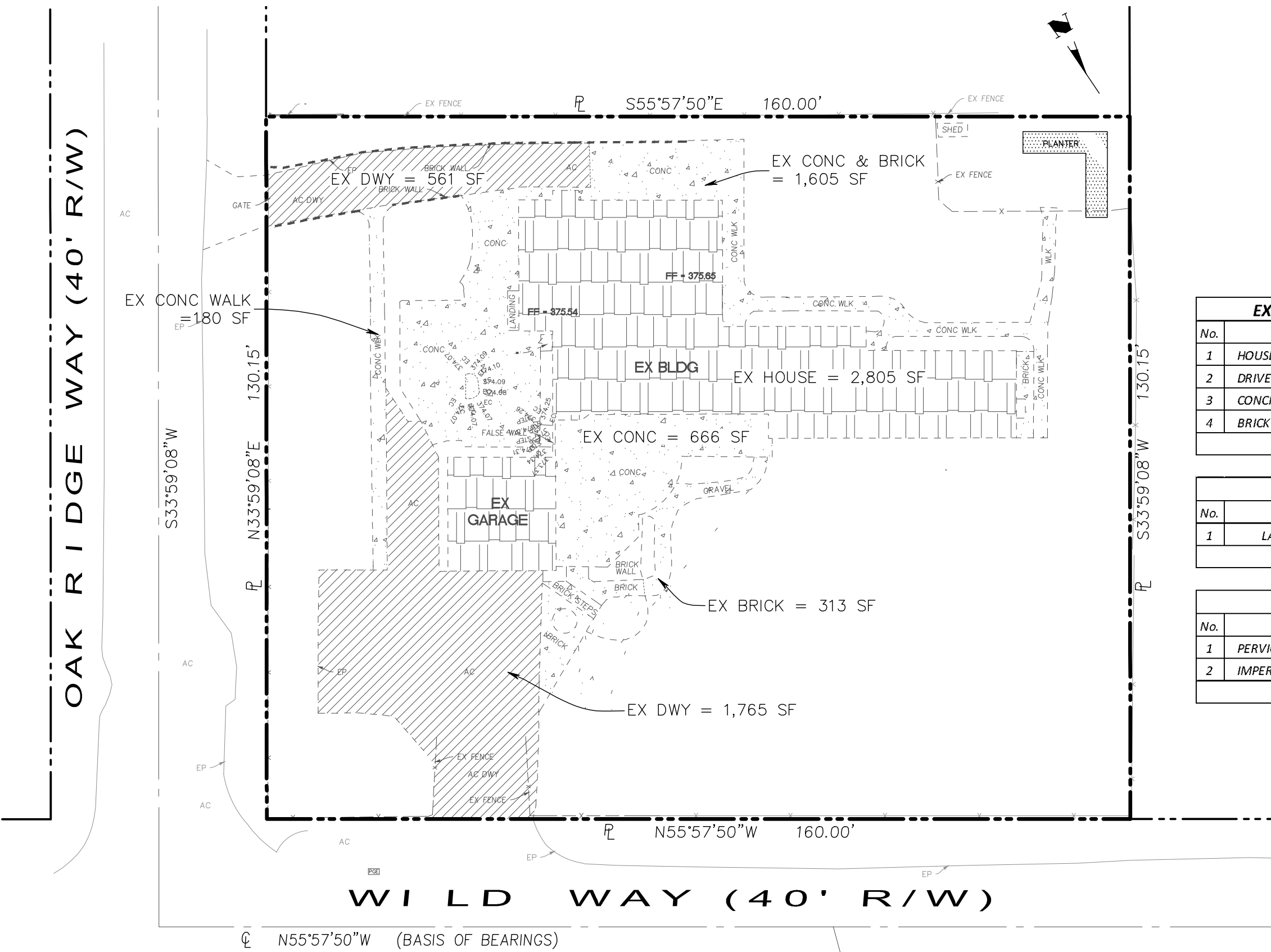
SECTION A-A



SECTION B-B



DWY PROFILE



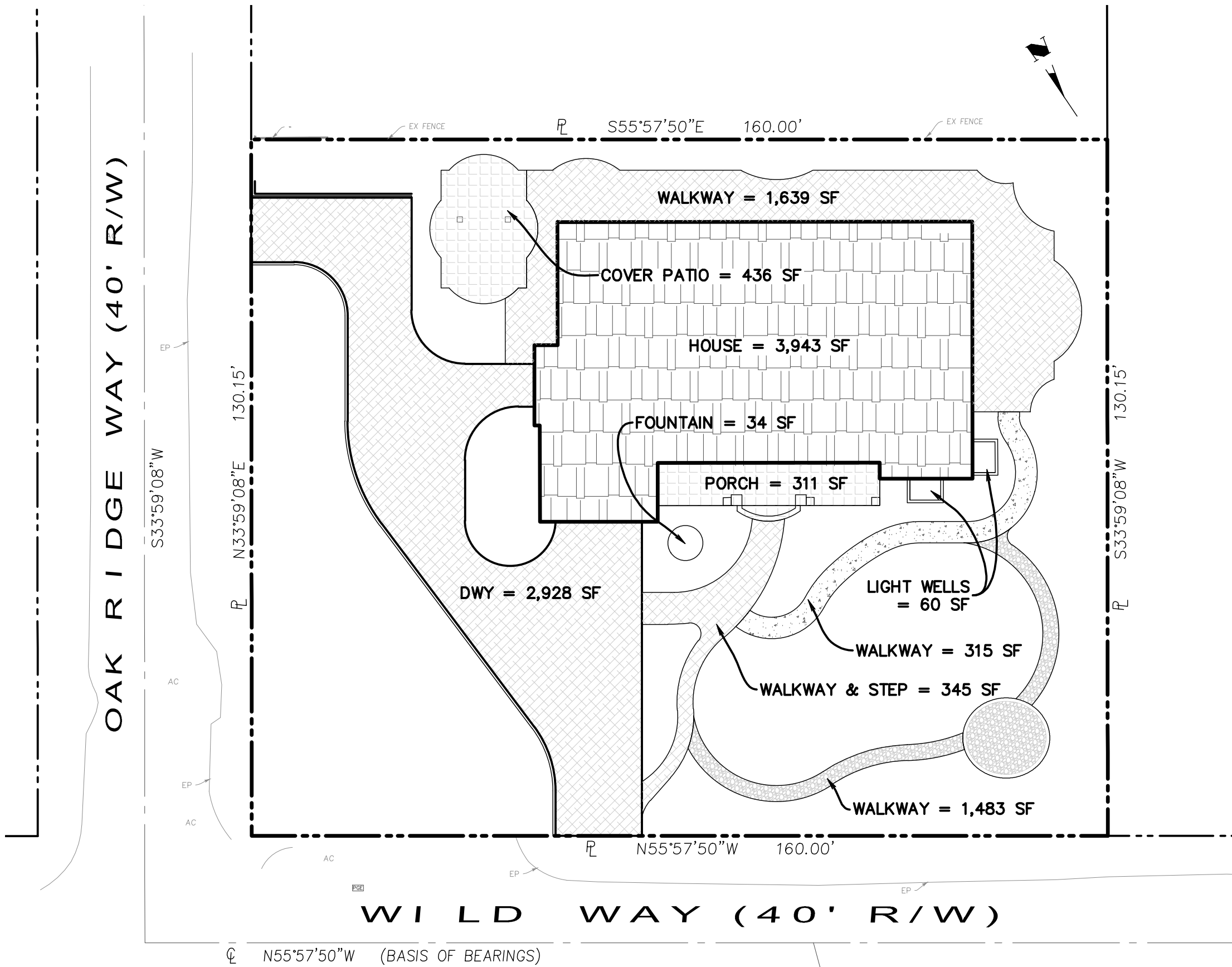
PRE-DEVELOPMENT

SCALE: 1"=20'

EXISTING IMPERVIOUS AREA		
No.	LOCATION	SURFACE AREA
1	HOUSE	2,805 SF
2	DRIVEWAY	2,376 SF
3	CONCRETE AREA	2,451 SF
4	BRICK	313 SF
TOTAL		7,945 SF

PERVIOUS AREA		
No.	LOCATION	SURFACE AREA
1	LANDSCAPING AREA	12,879 SF
TOTAL		12,879 SF

SUMMARY		
No.	LOCATION	SURFACE AREA
1	PERVIOUS AREA	12,879 SF
2	IMPERVIOUS AREA	7,945 SF
TOTAL		20,824 SF



POST-DEVELOPMENT

SCALE: 1"=20'

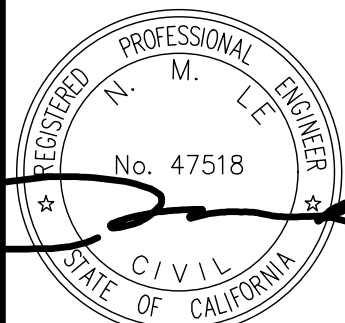
PROPOSED IMPERVIOUS AREA		
No.	LOCATION	SURFACE AREA
1	HOUSE	3,943 SF
2	PORCH & PATIO	779 SF
3	CONCRETE WALKWAY	314 SF
4	LIGHT WELL	60 SF
5	FOUNTAIN	34 SF
6	CONCRETE WALKWAY	315 SF
TOTAL		5,445 SF

PERVIOUS AREA		
No.	LOCATION	SURFACE AREA
1	PAVER WALKWAY	2,453 SF
2	PAVER DRIVEWAY	2,928 SF
3	GRAVEL WALKWAY	1,483 SF
4	LANDSCAPING AREA	8,515 SF
TOTAL		15,379 SF

SUMMARY		
No.	LOCATION	SURFACE AREA
1	PERVIOUS AREA	15,379 SF
2	IMPERVIOUS AREA	5,445 SF
TOTAL		20,824 SF

LEGEND

	ROOF
	CONCRETE PATIO / PORCH
	CONCRETE PAVER
	PORTLAND CEMENT CONCRETE
	GRAVEL

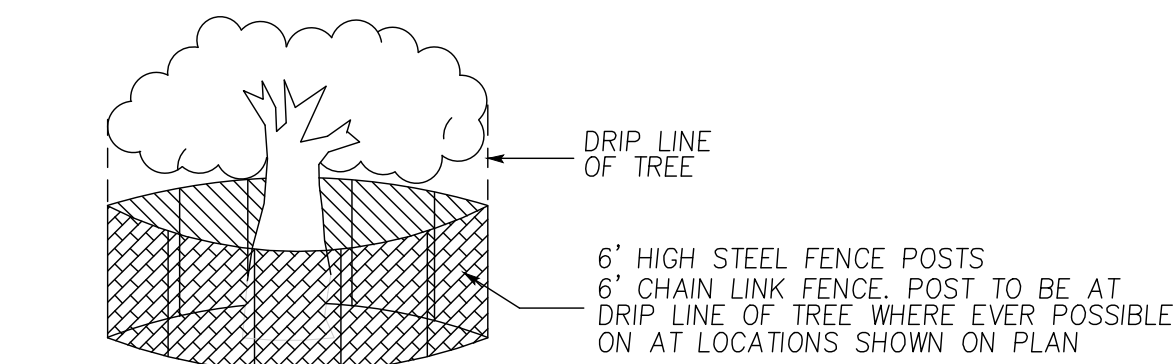
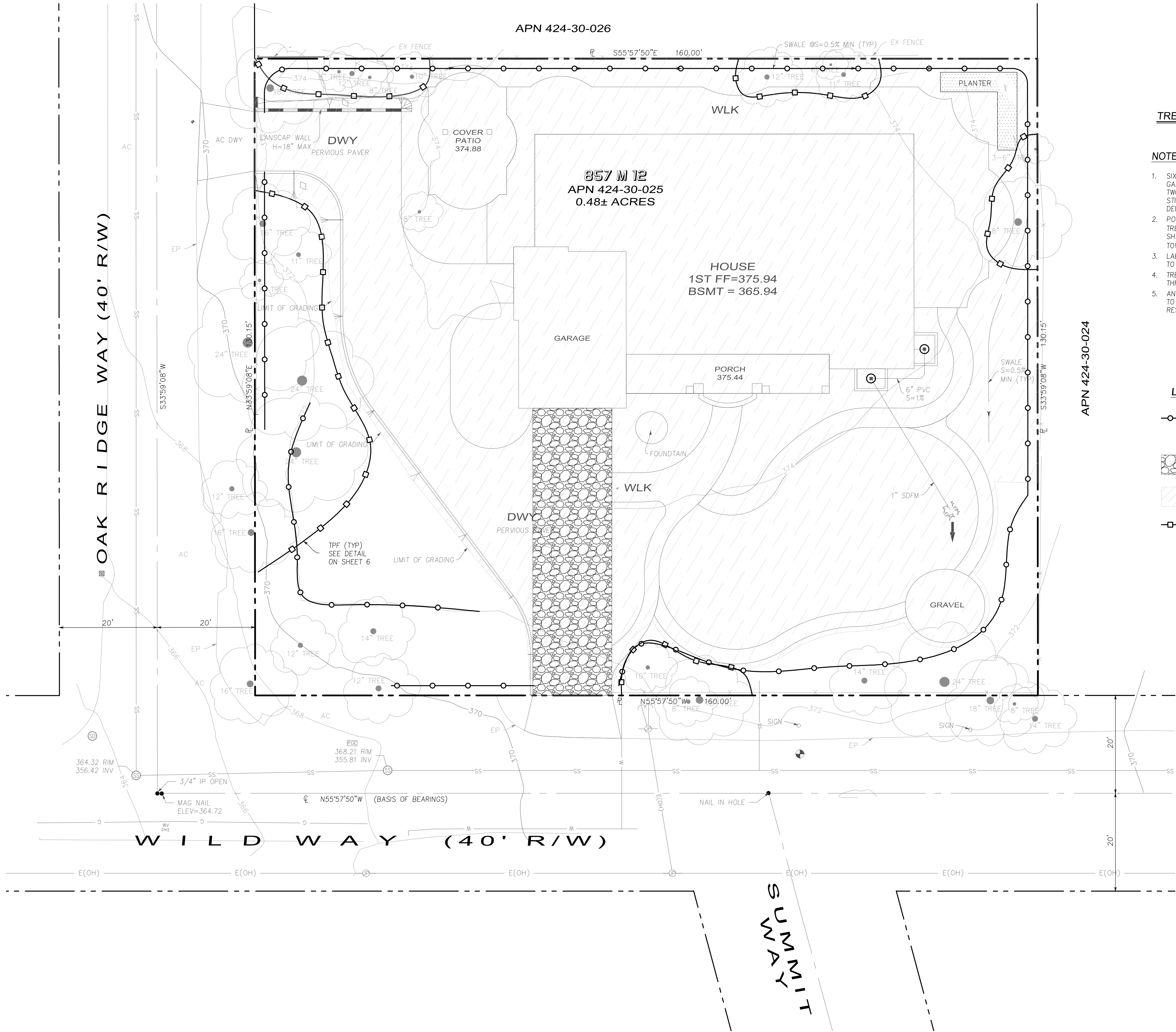


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GRADING AND DRAINAGE PLANS
17070 WILD WAY
BUILDING CROSS SECTIONS AND IMPERVIOUS AREA EXHIBIT
GRADING PERMIT APPLICATION NO. S-18-056
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PROJECT NO.:

ENGINEERING
588 E Santa Clara St. #270
San Jose, CA 95127
Phone (408) 806-7187
Fax (408) 883-4006

REVISIONS	BY	DATE



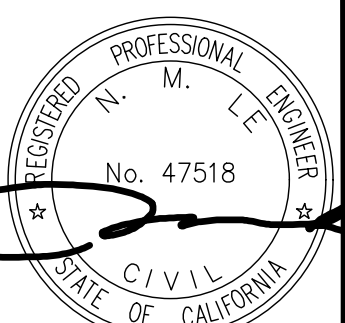
TREE PROTECTION FENCE DETAIL
NTS

NOTES:

- SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
- POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"
- LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
- TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
- ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

LEGEND:

- FIBER ROLLS
- TEMPORARY DRAINAGE INLET PROTECTION
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST
- DISTURBED AREA = 16,159 SF
- TREE PROTECTION FENCE



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PROJECT NO.:	

GRADING AND DRAINAGE PLANS
17070 WILD WAY
EROSION CONTROL PLAN
GRADING PERMIT APPLICATION NO. S-18-056
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 882-4006

REVISIONS	BY	DATE

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR/OWNER: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
PHONE NUMBER: (415) 595-3458

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
2. CIVIL ENGINEER: LC ENGINEERING 598 E SANTA CLARA ST, SUITE #270,
SAN JOSE, CA 95112.
(408) 806-7187
3. CONTRACTOR: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
24-HOUR PHONE NUMBER: (415) 595-3458
CONSTRUCTION SUPERINTENDENT: BALA RANGABASHYAM
ADDRESS: 17070 WILD WAY, LOS GATOS, CA 95030
24-HOUR PHONE NUMBER: (415) 595-3458
4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPILED WITH.
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

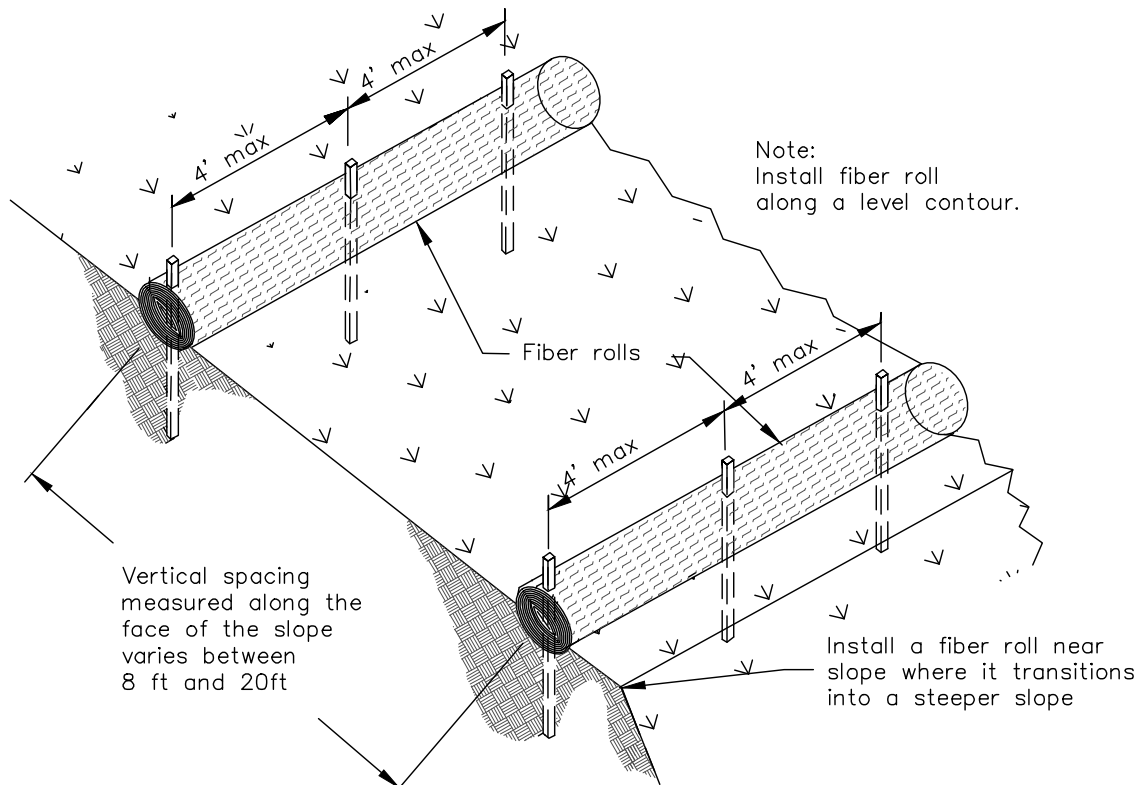
EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
9. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

MAINTENANCE NOTES

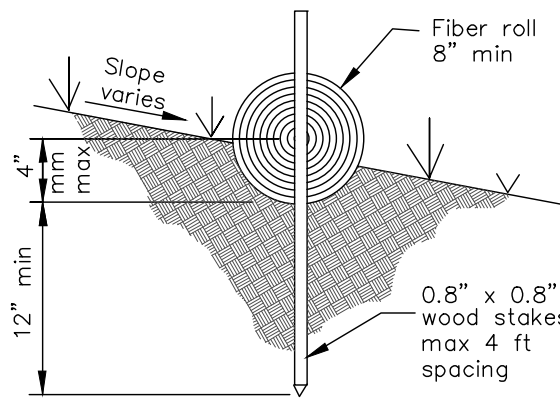
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
F. RILLS AND FOLLIES MUST BE REPAIRED.
2. SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
3. EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.

1 Fiber Rolls
CASQA Detail SE-5



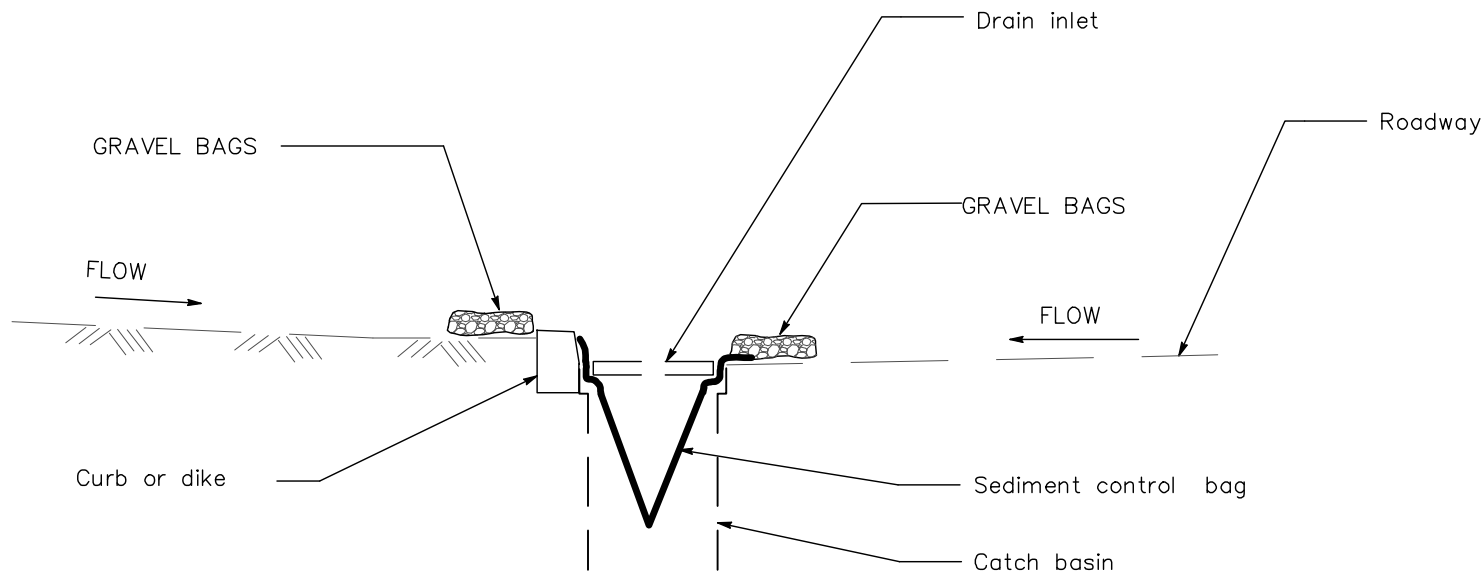
TYPICAL FIBER ROLL INSTALLATION

NOT TO SCALE

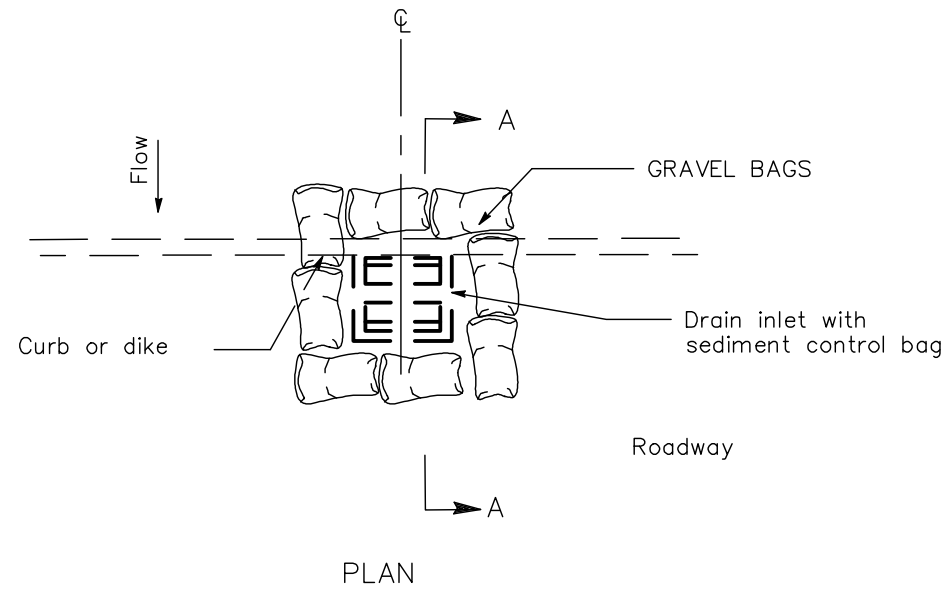


ENTRENCHMENT DETAIL

NOT TO SCALE



SECTION A-A

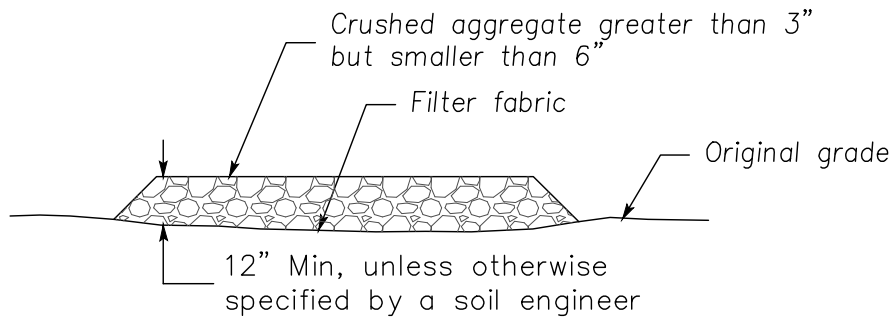


PLAN

TEMPORARY DRAINAGE INLET PROTECTION

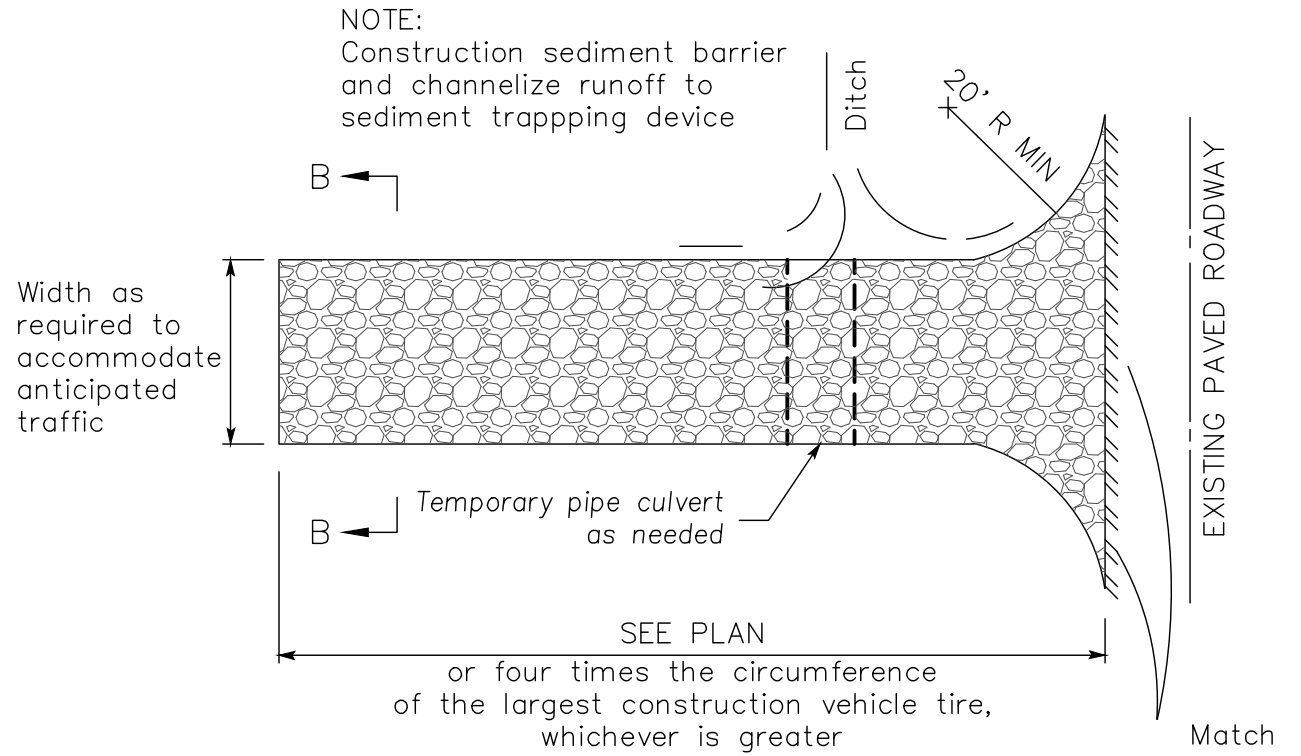
For paved areas exposed to traffic

3 Stabilized Construction Entrance/Exit
CASQA Detail TC-1



SECTION B-B

NTS



NOTE:
Construction sediment barrier and channelize runoff to sediment trapping device

RECEIVED
N. M.
No. 47518
STATE OF CALIFORNIA
CIVIL ENGINEER

DATE: 03/10/20
SCALE: NTS
DESIGN: PT
DRAWN: NL
CHECK: NL
ENGR: PROJECT NO.:

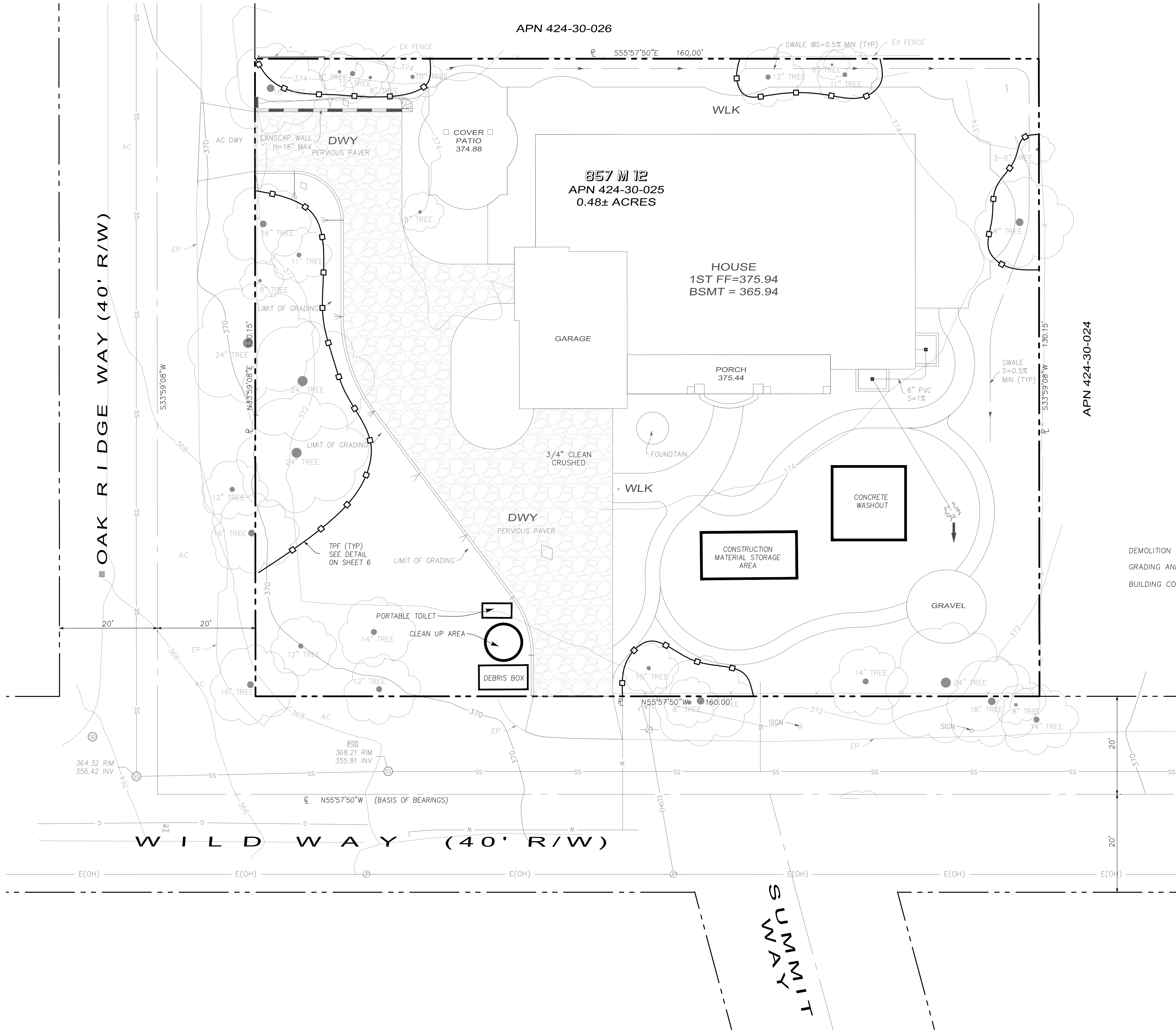
GRADING AND DRAINAGE PLANS
17070 WILD WAY
EROSION CONTROL DETAILS
GRADING PERMIT APPLICATION NO. S-18-056
TOWN OF LOS GATOS
PARIS AND PUBLIC WORKS DEPARTMENT

LC ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone (408) 806-7187
Fax (408) 883-4006

REVISIONS
DATE
BY
REVISIONS

◇

SHEET 7 OF 8



PROJECT SCHEDULE

	BEGIN	END
DEMOLITION	10/6/2020	10/10/2020
GRADING AND FOUNDATION EXCAVATION	10/13/2020	11/14/2020
BUILDING CONSTRUCTION	11/17/2020	3/26/2022



DATE:	03/10/20
SCALE:	1" = 10'
DESIGN:	PT
DRAWN:	PT
CHECK:	NL
ENGR:	NL
PROJECT NO.:	

GRADING AND DRAINAGE PLANS
17070 WILD WAY
CONSTRUCTION MANAGEMENT PLAN
GRADING PERMIT APPLICATION NO. S-18-056
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 882-4006

REVISIONS	BY	DATE

REVISIONS	BY



AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS

8262 Rancho Real Gilroy Ca. 95020
Calif. Reg.#2239 (408) 842-0245
aitkenassociates@gmail.com

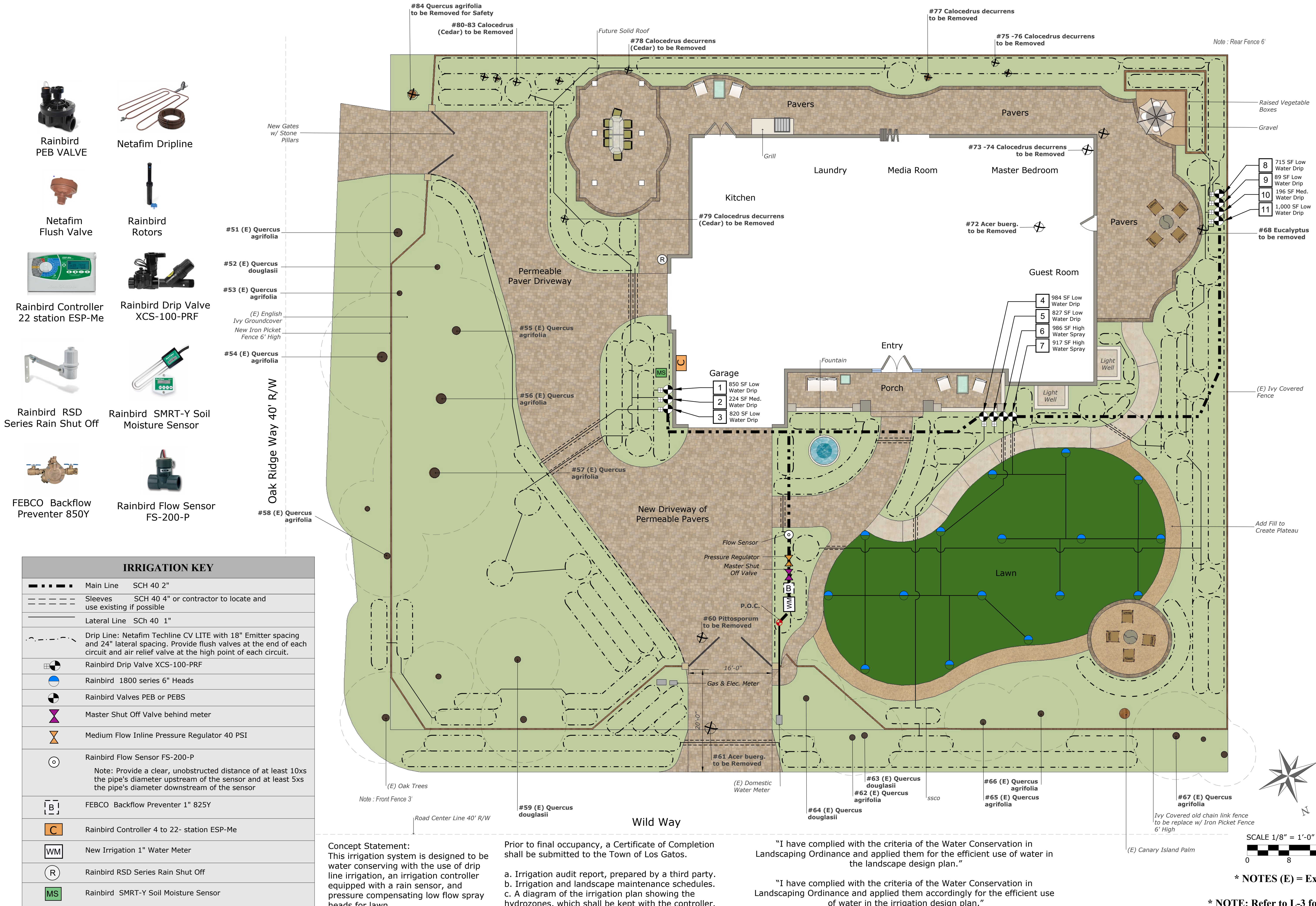
BALA RESIDENCE
17070 Wild Way, Los Gatos, CA

IRRIGATION PLAN



DATE	12-19-19
SCALE	1/8"=1'-0"
DRAWN	AD
JOB	BALA

L-1



SCALE 1/8" = 1'-0"

* NOTES (E) = Existing

* NOTE: Refer to L-3 for Water Calculations & Irrigation Details

PLANT LEGEND					
Botanical	Common	Quantity	Size	Water	Remarks
Tree					
Acer palmatum	Japanese Maple	4	24" Box	Medium	
Acer palmatum 'Rubrum'	Red Japanese Maple	3	24" Box	Medium	
Citrus X 'Improved Meyer'	Improved Meyer Lemon	1	15 Gallon	Low, Medium	
Citrus aurantifolia 'Bearss Seedless'	Bearss Seedless Lime	1	15 Gallon	Medium	
Jacaranda mimosifolia	Jacaranda	1	24" Box	Medium	
Malus 'Gala'	Gala Apple	1	15 Gallon	Medium	
Pistacia chinensis	Chinese Pistache	1	24" Box	Low	
Prunus X yedoensis 'Akebono'	Akebono Flowering Cherry	2	15 Gallon	Medium	
Prunus persica	Edible Peach	1	15 Gallon	Medium	'Babcock'
Prunus salicina 'Santa Rosa'	Santa Rosa Plum	1	15 Gallon	Medium	
Shrub					
Buxus microphylla japonica	Japanese Boxwood	21	5 Gallon	Medium	
Coleonema pulchellum 'Sunset Gold'	Golden Breath Of Heaven	36	5 Gallon	Medium	
Escallonia 'Newport Dwarf'	Dwarf Escallonia	12	5 Gallon	Medium	
Loropetalum chinense 'Rubrum'	Red Fringe Flower	18	5 Gallon	Medium	
Pittosporum tenuifolium	Blackstem Pittosporum	6	5 Gallon	Medium	
Podocarpus gracillior	Fern Pine	12	5 Gallon	Low, Medium	
Prunus caroliniana	Carolina Laurel Cherry	34	5 Gallon	Low	
Prunus caroliniana 'Compacta'	Dwarf Carolina Laurel Cherry	10	5 Gallon	Low	
Rosa 'Iceberg'	Iceberg Floribunda Rose	6	5 Gallon	Medium	
Rosa Tree varieties	Tree Roses selections	4	15 Gallon	Medium	
Salvia greggii	Autumn or Texas Sage	18	5 Gallon	Very Low	'Rosea'
Verbena 'Homestead Purple'	Homestead Purple Verbena	8	1 Gallon	Very Low, Low	
Ground Cover					
Erigeron karvinskianus 'Profusion'	Profusion Santa Barbara Daisy	27	1 Gallon	Medium	
Rosa Flower Carpet White	White Flower Carpet Rose	15	1 Gallon	Medium	
Trachelospermum jasminoides	Star Jasmine	20	1 Gallon	Low, Medium	



REVISIONS	BY



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Calif. Reg. #2239 (408) 842-0245
aitkenassociates@gmail.com

BALA RESIDENCE
17070 Wild Way, Los Gatos, CA
LANDSCAPE PLAN



DATE	12-19-19
SCALE	1/8"=1'-0"
DRAWN	AD & IN
JOB	BALA

L-2

A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas.

